

Meeting of the Central Valley Flood Protection Board

February 25, 2011

Staff Report – Encroachment Permit Hearing

Donna Blower

Home Remodel, Sacramento County

1.0 – ITEM

Consider approval of Resolution No. 11-10 (Attachment A) granting authorization of Permit No. 18590 (Attachment B).

2.0 – APPLICANT

Donna Blower

3.0 – LOCATION

The project is located southwest of Walnut Grove at 15433 Andrus Island Road. (Georgiana Slough, Sacramento County, see Attachment C)

4.0 – DESCRIPTION

The applicant proposes to authorize completed remodel of existing 1,250-square-foot residence, detached garage and pump house (previously authorized under Automatic Board Order 11160); requests variance to Board standards for setback requirement for the construction of a new septic system, on the overflow area of the right (west) bank levee of Georgiana Slough.

5.0 – PROJECT ANALYSIS

The existing home was previously authorized under Automatic Board Order 11160 issued on December 22, 1975 (Attachment B, Exhibit B) in accordance with Title 23, Article 6, Section 108 (a) (1)) which states that existing encroachments within an Adopted Plan of Flood Control shall be allowed to continue and *“a permit or order shall be automatically issued for all conforming existing facilities and uses. The facility or use*

may not be changed, extended, or expanded without a new application to and approval by the board." The west levee of the Georgiana Slough is part of the Sacramento River Flood Control Project (SRFCP), which is part of the State Plan of Flood Control (SPFC) that was adopted by the Board on November 20, 1951. In addition, the U.S. Army Corps of Engineers As-builts for the SRFCP confirm the existence of the existing residence within the limits of the SPFC (see Attachment D). The foot-print of the existing home and detached garage did not change from the original conditions. The design water surface elevation at this location is approximately 12.5 feet* (1957 profile). The Finish Floor Elevation (FFE) of the home was raised to 12.9 feet (previously FFE=9.8 feet*) in order to meet Sacramento County's FFE requirement of 1 foot above FEMA's 100-year flood elevation (11.3 feet*). Since the remodel of the home did not increase the existing footprint, under the Board's Regulations, the 2-foot freeboard above the design flood plane (1957) is not required (CCR 23 § 113 (b) (3)). Refer to Section 5.2 for details on the hydraulic analysis performed for this application.

5.1 – Variance Request

The California Code of Regulations Title 23 Article 3, Section 11 (a) states that a variance is required for encroachment permit applications for a use that is not consistent with the Board's standards. The property is bounded by the project levee on the west and Georgiana Slough to the east. The proposed septic system runs parallel to the levee alignment and it varies between 8-12 feet from the existing retaining wall on the waterside slope of the levee. The location of the new septic system is limited to the area between the waterside retaining wall and the home (approximately 16 feet). In order for the installation of the septic system to be Title 23 compliant, the system would have to be placed 10-feet away from where the theoretical waterside levee slope meets original ground. This would place the septic system within the foundation of the existing home (see Figure 1 on Page 3). Hence, it is unfeasible for the installation of the new septic system to meet the 10-foot setback as required by Title 23 § 122 (b) (1) and therefore it requires a Board variance.

Furthermore, Board staff has been in communication with the U.S. Army Corps of Engineers (USACE) in regards to this matter and submitted a variance request in their 208.10 review letter for this application (see Attachment G for letter dated February 7, 2011). Board staff expects a favorable 208.10 review letter from the USACE, which will be incorporated into the final permit.

The proposed septic system is a replacement of an existing code deficient and undersized septic system which will be removed before the installation of the new system. The proposed system reduces the threat the existing system poses to the

NOTE: * Unless specifically stated, elevations shown are in National Geodetic Vertical Datum of 1929 (NGVD 29)

levee and the water quality of the Georgiana Slough. For the reasons stated above, Board staff believes the installation of new septic system warrants a variance from the Board's setback requirements.

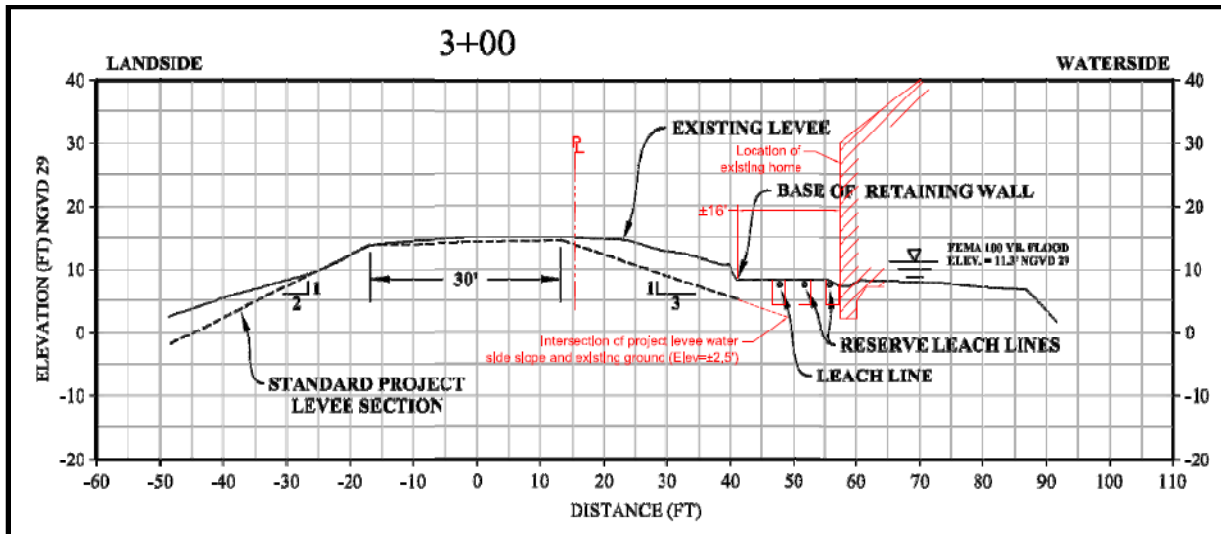


Figure 1- Site cross section, labels added by CVFPB Staff (Source: MBK Engineers plans dated 12/9/10, Sheet 3 of 3).

5.2 – Hydraulic Analysis

Because the existing residence was constructed before the flood control project was built and the remodel of the home does not change in foot-print, a hydraulic analysis was not required. However, the detached garage and pump house were not shown on the as-builts for the flood control project and therefore, a hydraulic analysis was required to determine the impacts on the flood control system. MBK Engineers prepared a hydraulic analysis to determine the impact the additional structures may have on the flood control project (see Attachment E). The existing garage is approximately 15 feet wide. For simplification and modeling purposes, the analysis treated the entire right bank area as being blocked by the structures (approximately 50 feet wide). The analysis showed a water surface elevation change ranging from +0.01 feet to -0.02 feet. Therefore, it can be determined that the detached garage and pump house have no significant impact on the water surface elevation for the flood control project.

5.3 – Geotechnical Analysis

A geotechnical analysis for this application is not required as the work is limited to replacement of existing structures/facilities.

5.4 – Easements

The applicant's property is bounded by the Georgiana Slough West Project levee on the left and the Georgiana Slough on the right (see Attachment F, Exhibit A). On April 23, 1951, the Board through the Sacramento San Joaquin Drainage District (SSJDD) obtained Deed 1488 from Fred L. and Hildreth E. Dambacher, for APN 156-0020-062, which was recorded on Book 2065 Page 519 which granted the following rights:

"...perpetual right of way and easements to build, construct, reconstruct, repair and forever maintain the West levee of the Georgiana Slough, a part of the Sacramento River Flood Control Plan..." (See Attachment F, Exhibit B).

5.5– Project Benefits

The project has the following benefits associated with its completion:

- Overall improvement to the existing code deficient structures/facilities.
- The finish floor of the home is 1.6-feet above FEMA's 100-year flood elevation and is in compliance with the County's regulations.
- Installation of the new code compliant septic system protects water quality in the Georgiana Slough

6.0 – AGENCY COMMENTS AND ENDORSEMENTS

The comments and endorsements associated with this project, from all pertinent agencies are shown below:

- The U.S. Army Corps of Engineers ("Corps") comment letter has not yet been received for this application. However, Board staff has been in communication with the Corps and expects a favorable review letter. Upon receipt of a favorable letter and reviewed by Board staff, it will be incorporated into this permit as Exhibit A.
- Reclamation District 556 has endorsed the authorization of these encroachments without conditions.

7.0 – PROPOSED CEQA FINDINGS

Board staff has prepared the following CEQA determinations:

The Board, acting as the CEQA lead agency, has determined that the project is categorically exempt from CEQA under Class 2 Categorical Exemption (CEQA Guidelines Section 15302) covering replacement and reconstruction of existing structures and Class 3 Categorical Exemption (CEQA Guidelines Section 15303) covering new construction of small structures.

8.0 – SECTION 8610.5 CONSIDERATIONS

1. Evidence that the Board admits into its record from any party, State or local public agency, or nongovernmental organization with expertise in flood or flood plain management:

The Board will make its decision based on the evidence in the permit application and attachments, this staff report, and any other evidence presented by any individual or group.

2. The best available science that related to the scientific issues presented by the executive officer, legal counsel, the Department or other parties that raise credible scientific issues.

The Sacramento and San Joaquin River Basins Comprehensive Study (Comp study) UNET model prepared by the Corps and used by MBK to evaluate the proposed structures, is one of the best available scientific tools for the purpose of modeling river hydraulics, including flood control system simulations and water surface profile computations.

3. Effects of the decision on the entire State Plan of Flood Control:

The work covered under this permit is an overall improvement to the existing deteriorated and code deficient structures. Furthermore, the hydraulic analysis demonstrated that the work under this permit application has adverse significant effects on the Georgiana Slough or the overall Sacramento River Flood Control Project.

4. Effects of reasonable projected future events, including, but not limited to, changes in hydrology, climate, and development within the applicable watershed:

Specific quantified impacts of climate change on future hydrology and floodplain conditions in the Sacramento River basin have not been studied by the Board, U.S. Army Corps of Engineers, or other flood management partners. The Georgiana Slough is subject to tidal influences from the Pacific Ocean and therefore any changes to the sea level may result in increased tidal changes in the Georgiana Slough.

9.0 – STAFF RECOMMENDATION

Staff recommends that the Board adopt Resolution No.11-10, which constitutes the Boards written findings and decision in the matter of Permit No. 18590. The Resolution contains the Boards CEQA findings; Findings of Fact; and approval of Permit No. 18590 conditioned upon receipt and review of a favorable U.S. Army Corps of Engineers 208.10 comment letter and an order to direct the Executive Officer to take necessary actions to prepare and execute the permit and related documents and to prepare and file a Notice of Exemption with the State Clearinghouse.

10.0 – LIST OF ATTACHMENTS

- A. Resolution No. 11-10
- B. Draft Permit 18590
 - Exhibit A – U.S. Army Corps of Engineers 208.10 Review letter (expected before the Board meeting)
 - Exhibit B – Automatic Board Order No. 11160
- C. Location Map, Photos and application Information submitted by Applicant
- D. Sacramento River Flood Control Project As-builts prepared by USACE dated March 1950 (Only relevant pages included)
- E. Hydraulic Analysis Memo prepared by MBK dated November 16, 2010
- F. Easement Information
 - Exhibit A - Property Boundary and Easements Exhibit (prepared by MBK dated December 9, 2010)
 - Exhibit B – Deed 1488 Recorded on Book 2065 Page 519 dated April 23, 1951
- G. Board staff letter to USACE requesting variance to septic system dated February 7, 2011.

Report Completed by:	Angeles Caliso
Environmental Review:	James Herota
Document Review:	Curt Taras, Ali Porbaha and Len Marino

STATE OF CALIFORNIA
THE RESOURCES AGENCY
CENTRAL VALLEY FLOOD PROTECTION BOARD

RESOLUTION NO. 11-10

FINDINGS AND DECISION AUTHORIZING ISSUANCE OF
ENCROACHMENT PERMIT NO. 18590
DONNA BLOWER, HOME REMODEL PROJECT
GEORGIANA SLOUGH, SACRAMENTO COUNTY

WHEREAS, Ms. Donna Blower (applicant) is the owner of the property known as Sacramento County Assessor's Parcel No. 156-002-062 located in Section 16, Township 4 North, Range 4 East, Mount Diablo Base and Meridian; and

WHEREAS, the property is located at 15433 Andrus Island Road in Isleton, on the overflow area of the west (right) levee of the Georgiana Slough; and

WHEREAS, the Georgiana Slough West Levee is part of the federal Sacramento River Flood Control Project (SRFCP) completed in 1950 and adopted by the Board on November 20, 1951 for its operation and maintenance; and

WHEREAS, the applicant requests authorization for a completed remodel of an existing 1,250-square-foot residence, detached garage and pump house (previously authorized under Automatic Board Order 11160); and requests a variance to the Board standards for setback requirements for the replacement of the septic system on the overflow area of the Georgiana Slough; and

WHEREAS, The existing home was previously authorized under Automatic Board Order 11160 issued on December 22, 1975 in accordance with Title 23, Article 6, Section 108 (a) (1) which states that existing encroachments within an Adopted Plan of Flood Control shall be allowed to continue and *"a permit or order shall be automatically issued for all conforming existing facilities and uses. The facility or use may not be changed, extended, or expanded without a new application to and approval by the board"*; and

WHEREAS, the U.S. Army Corps of Engineers as-builts for the SRFCP confirm the existence of the existing residence within the limits of the project. The foot-print of the existing home and detached garage did not change from the original conditions. Prior to the remodel, the Finish Floor Elevation (FFE) of the residence was 9.8-feet (NGVD 29). The FFE of the home was raised 1.6-feet above FEMA's 100-year flood elevation (11.3 feet, NGVD 29). Since the remodel of the home did not increase the existing footprint, under the Board's Regulations, the 2-foot freeboard above the design flood plane (1957) is not required (CCR 23 § 113 (b) (3)); and

WHEREAS, CCR Title 23 Article 3, Section 11 (a) states that a variance is required for encroachment permit applications for a use that is not consistent with the Board's standards.

The property is bounded by the project levee on the west and Georgiana Slough to the east. The proposed septic system runs parallel to the levee alignment and it varies between 8-12 feet from the existing retaining wall on the waterside slope of the levee. The location of the new septic system is limited to the area between the waterside retaining wall and the home (approximately 16 feet). In order for the installation of the septic system to be Title 23 compliant, the system would have to be placed 10-feet away from where the theoretical waterside levee slope meets original ground. This would place the septic system within the foundation of the existing home. Hence, it is unfeasible for the installation of the new septic system to meet the 10-foot setback as required by Title 23 § 122 (b) (1) and therefore it requires a Board variance; and

WHEREAS, furthermore, Board staff has been in communication with the U.S. Army Corps of Engineers (USACE) in regards to this matter and submitted a variance request in their 208.10 review letter for this application and expects a favorable 208.10 review letter from the USACE, which will be incorporated into the final permit; and

WHEREAS, the proposed septic system is a replacement of an existing code deficient and undersized septic system which will be removed before the installation of the new system; and

WHEREAS, MBK Engineers prepared a hydraulic analysis to determine the impact the additional structures may have on the flood control project. The existing garage is approximately 15 feet wide. For simplification and modeling purposes, the analysis treated the entire right bank area as being blocked by the structures (approximately 50 feet wide). The analysis showed a water surface elevation change ranging from +0.01 feet to -0.02 feet. Therefore, it can be determined that the detached garage and pump house have no significant impact on the water surface elevation for the flood control project; and

WHEREAS, on April 23, 1951, the Board through the Sacramento San Joaquin Drainage District (SSJDD) obtained Deed 1488 from Fred L. and Hildreth E. Dambacher, for APN 156-0020-062, which was recorded on Book 2065 Page 519 which granted the following rights: “...*perpetual right of way and easements to build, construct, reconstruct, repair and forever maintain the West levee of the Georgiana Slough, a part of the Sacramento River Flood Control Plan...*”

WHEREAS, Reclamation District 556 has endorsed the authorization of these encroachments without conditions; and

WHEREAS, the Central Valley Flood Protection Board has conducted a hearing on Encroachment Permit No. 18590 and has reviewed the application, the Report of its staff, the documents and correspondence in its file, and given the applicant the right to testify and present evidence on their behalf;

NOW, THEREFORE, BE IT RESOLVED THAT,

Findings of Fact

1. The Central Valley Flood Protection Board hereby adopts as findings the facts set forth in the Staff Report.
2. The Board has reviewed all Attachments listed in the Staff Report.

CEQA Findings

3. The Board, acting as the CEQA lead agency, has determined that the project is categorically exempt from CEQA under Class 2 Categorical Exemption (CEQA Guidelines Section 15302) covering replacement and reconstruction of existing structures and Class 3 Categorical Exemption (CEQA Guidelines Section 15303) covering new construction of small structures.
4. **Custodian of Record.** The custodian of the CEQA record for the Board is its Executive Officer, Jay Punia, at the Central Valley Flood Protection Board Offices at 3310 El Camino Avenue, Room 151, Sacramento, California 95821.

Findings pursuant to Water Code section 8610.5

5. **Evidence Admitted into the Record.** The Board has considered all the evidence presented in this matter, including previous Board permits (ABO), past and present Staff Reports and attachments. The Board has also considered all letters and other correspondence received by the Board and in the Board's files related to this matter.

The custodian of the file is Executive Officer Jay Punia at the Central Valley Flood Protection Board, 3310 El Camino Avenue, Room 151, Sacramento, California 95821.

6. **Best Available Science.** The Sacramento and San Joaquin River Basins Comprehensive Study (Comp study) UNET model prepared by the Corps and used by MBK to evaluate the proposed structures, is one of the best available scientific tools for the purpose of modeling river hydraulics, including flood control system simulations and water surface profile computations.
7. **Effects on State Plan of Flood Control.** The work covered under this permit is an overall improvement to the existing deteriorated and code deficient structures. The hydraulic analysis demonstrated that the work under this permit application has adverse significant effects on the Georgiana Slough or the overall Sacramento River Flood Control Project.
8. **Effects of Reasonably Projected Future Events.** Specific quantified impacts of climate change on future hydrology and floodplain conditions in the Sacramento River basin have not been studied by the Board, U.S. Army Corps of Engineers, or other flood management partners. The Georgiana Slough is subject to tidal influences from

the Pacific Ocean and therefore any changes to the sea level may result in increased tidal changes in the Georgiana Slough.

Other Findings/Conclusions regarding Issuance of the Permit

9. This resolution shall constitute the written decision of the Central Valley Flood Protection Board in the matter of Encroachment Permit No. 18590.

Approval of Encroachment Permit No. 18590

10. Based on the foregoing, the Central Valley Flood Protection Board hereby approves the issuance of Encroachment Permit No. 18590, conditioned upon receipt and review of a favorable U.S. Army Corps of Engineers 208.10 comment letter, to authorize completed remodel of an existing 1,250-square-foot residence, detached garage and pump house and grants a variance to Board standards for setback requirements for the replacement of the septic system on the overflow area of the right (west) bank levee of the Georgiana Slough.
11. The Central Valley Flood Protection Board directs the Executive Officer to take the necessary actions to prepare and execute the permit and related documents and file a Notice of Exemption with the State Clearinghouse.

PASSED AND ADOPTED by vote of the Board on _____, 2011.

Benjamin F. Carter
President

Francis Hodgkins
Secretary

DRAFT

STATE OF CALIFORNIA
THE RESOURCES AGENCY
THE CENTRAL VALLEY FLOOD PROTECTION BOARD

PERMIT NO. 18590 BD

This Permit is issued to:

Donna Blower
63 Tiffany Drive
Pittsburg, California 94565

To authorize completed remodel of existing 1,250-square-foot residence, detached garage and pump house (previously authorized under Automatic Board Order 11160); remove existing septic system and construct a new septic system, on the overflow area of the right (west) bank levee of Georgiana Slough.

The project is located southwest of Walnut Grove at 15433 Andrus Island Road (Section 16, T4N, R4E, MDB&M, Reclamation District 556, Georgiana Slough, Sacramento County).

NOTE: Special Conditions have been incorporated herein which may place limitations on and/or require modification of your proposed project as described above.

(SEAL)

Dated: _____

Executive Officer

GENERAL CONDITIONS:

ONE: This permit is issued under the provisions of Sections 8700 – 8723 of the Water Code.

TWO: Only work described in the subject application is authorized hereby.

THREE: This permit does not grant a right to use or construct works on land owned by the Sacramento and San Joaquin Drainage District or on any other land.

FOUR: The approved work shall be accomplished under the direction and supervision of the State Department of Water Resources, and the permittee shall conform to all requirements of the Department and The Central Valley Flood Protection Board.

FIVE: Unless the work herein contemplated shall have been commenced within one year after issuance of this permit, the Board reserves the right to

change any conditions in this permit as may be consistent with current flood control standards and policies of The Central Valley Flood Protection Board.

SIX: This permit shall remain in effect until revoked. In the event any conditions in this permit are not complied with, it may be revoked on 15 days' notice.

SEVEN: It is understood and agreed to by the permittee that the start of any work under this permit shall constitute an acceptance of the conditions in this permit and an agreement to perform work in accordance therewith.

EIGHT: This permit does not establish any precedent with respect to any other application received by The Central Valley Flood Protection Board.

NINE: The permittee shall, when required by law, secure the written order or consent from all other public agencies having jurisdiction.

TEN: The permittee is responsible for all personal liability and property damage which may arise out of failure on the permittee's part to perform the obligations under this permit. If any claim of liability is made against the State of California, or any departments thereof, the United States of America, a local district or other maintaining agencies and the officers, agents or employees thereof, the permittee shall defend and shall hold each of them harmless from each claim.

ELEVEN: The permittee shall exercise reasonable care to operate and maintain any work authorized herein to preclude injury to or damage to any works necessary to any plan of flood control adopted by the Board or the Legislature, or interfere with the successful execution, functioning or operation of any plan of flood control adopted by the Board or the Legislature.

TWELVE: Should any of the work not conform to the conditions of this permit, the permittee, upon order of The Central Valley Flood Protection Board, shall in the manner prescribed by the Board be responsible for the cost and expense to remove, alter, relocate, or reconstruct all or any part of the work herein approved.

SPECIAL CONDITIONS FOR PERMIT NO. 18590 BD

THIRTEEN: This permit is not valid until the enclosed Agreement Establishing a Covenant Running with the Land has been signed, notarized, and returned to the Central Valley Flood Protection Board.

FOURTEEN: The permittee acknowledges that the proposed dwelling is located within the Georgiana Slough floodway and is subject to periodic flooding.

FIFTEEN: All work approved by this permit shall be in accordance with the submitted drawings and specifications except as modified by special permit conditions herein. No further work, other than that approved by this permit, shall be done in the area without prior approval of the Central Valley Flood Protection Board.

SIXTEEN: The permittee shall maintain the permitted encroachment(s) and the project works within the utilized area in the manner required and as requested by the authorized representative of the Department of Water Resources, Reclamation District No. 556 or any other agency responsible for maintenance.

SEVENTEEN: The permittee shall contact the Department of Water Resources by telephone, (916) 574-0609, and submit the enclosed postcard to schedule a preconstruction conference. Failure to do so at least 10 working days prior to start of work may result in delay of the project.

EIGHTEEN: The permittee shall defend, indemnify, and hold the Central Valley Flood Protection Board and the State of California, including its agencies, departments, boards, commissions, and their respective officers, agents, employees, successors and assigns (collectively, the "State"), safe and harmless, of and from all claims and damages related to the Central Valley Flood Protection Board's approval of this permit, including but not limited to claim filed pursuant to the California

Environmental Quality Act. The State expressly reserves the right to supplement or take over its defense, in its sole discretion.

NINETEEN: The Central Valley Flood Protection Board, Department of Water Resources, and Reclamation District No. 556 shall not be held liable for any damages to the permitted encroachment(s) resulting from flood fight, operation, maintenance, inspection, or emergency repair.

TWENTY: The permittee is responsible for all liability associated with construction, operation, and maintenance of the permitted facilities and shall defend, indemnify, and hold the Central Valley Flood Protection Board and the State of California; including its agencies, departments, boards, commissions, and their respective officers, agents, employees, successors and assigns (collectively, the "State"), safe and harmless, of and from all claims and damages arising from the project undertaken pursuant to this permit, all to the extent allowed by law. The State expressly reserves the right to supplement or take over its defense, in its sole discretion.

TWENTY-ONE: The permittee may be required, at permittee's cost and expense, to remove, alter, relocate, or reconstruct all or any part of the permitted encroachment(s) if removal, alteration, relocation, or reconstruction is necessary as part of or in conjunction with any present or future flood control plan or project or if damaged by any cause. If the permittee does not comply, the Central Valley Flood Protection Board may remove the encroachment(s) at the permittee's expense.

TWENTY-TWO: The permittee should contact the U.S. Army Corps of Engineers, Sacramento District, Regulatory Branch, 1325 J Street, Sacramento, California 95814, telephone (916) 557-5250, as compliance with Section 10 of the Rivers and Harbors Act and/or Section 404 of the Clean Water Act is likely required.

TWENTY-THREE: Upon completion of the project, the permittee shall submit as-built plans to: Department of Water Resources, Flood Project Inspection Section, 3310 El Camino Avenue, Suite 256, Sacramento, California 95821.

TWENTY-FOUR: The permittee shall be responsible for repair of any damages to the project levee and other flood control facilities due to construction, operation, or maintenance of the proposed project.

TWENTY-FIVE: The permittee is responsible for all liability associated with construction, operation, and maintenance of the permitted facilities and shall defend and hold harmless the State of California, or any departments thereof, from any liability or claims of liability associated therewith.

TWENTY-SIX: If the project, or any portion thereof, is to be abandoned in the future, the permittee or successor shall abandon the project under direction of the Central Valley Flood Protection Board and Department of Water Resources, at the permittee's or successor's cost and expense.

TWENTY-SEVEN: No construction work of any kind shall be done during the flood season from November 1 to April 15 without prior approval of the Central Valley Flood Protection Board.

TWENTY-EIGHT: Cleared trees and brush shall be completely burned or removed from the floodway, and downed trees or brush shall not remain in the floodway during the flood season from November 1 to April 15.

TWENTY-NINE: The area between the waterside retaining wall and the residence (approximately 16 feet wide) shall be maintained cleared of any vegetation or structures to allow access for inspections and/or flood fighting activities.

THIRTY: No material stockpiles, temporary buildings, or equipment shall remain in the floodway during the flood season from November 1 to April 15.

THIRTY-ONE: Any vegetation which interferes with the successful execution, functioning, maintenance, or operation of the adopted plan of flood control must be removed by the owner at owner's expense upon request by the Central Valley Flood Protection Board, Department of Water Resources, or local maintaining agency. If the owner does not remove such vegetation upon request, the Central Valley Flood Protection Board reserves the right to remove the vegetation at the owner's expense.

THIRTY-TWO: The existing septic tank, leach lines and appurtenant structures shall be completely removed.

THIRTY-THREE: Fill material shall be placed in 4- to 6-inch layers and compacted to at least the density of the adjacent, firm, undisturbed material.

THIRTY-FOUR: Installation of the new septic tanks, leach lines and appurtenant structures shall be in accordance with the location shown on the plans prepared by MBK Engineers dated December 9, 2010 and State and County standards for septic systems.

THIRTY-FIVE: If damage to the dwelling exceeds 50 percent of its market value within a 10-year period, the dwelling cannot be rebuilt or replaced without approval of the Central Valley Flood Protection Board. If the dwelling is not repaired or replaced, the remaining portion must be completely removed from the floodway prior to the next flood season.

THIRTY-SIX: Any additional encroachment(s) on the levee section or waterward berm, require an approved permit from the Central Valley Flood Protection Board and shall be in compliance with the Central Valley Flood Protection Board's regulations (Title 23 California Code of Regulations).

THIRTY-SEVEN: During demolition/construction of the project, any and all anticipated or unanticipated conditions encountered which may impact levee integrity or flood control shall be brought to the attention of the Flood Project Inspector immediately and prior to continuation. Any encountered abandoned encroachments shall be completely removed or properly abandoned under the direction of the Flood Project Integrity and Inspection Branch Inspector.

THIRTY-EIGHT: All debris generated by this project shall be disposed of outside the floodway and off the levee section.

THIRTY-NINE: The project site shall be restored to at least the condition that existed prior to commencement of work.

FORTY: The permittee is responsible for securing a County permit for the replacement of the new septic system.

FORTY-ONE: The permittee shall comply with all conditions set forth in the letter from the Department of the Army dated Month XX, 2011, which is attached to this permit as Exhibit A and is incorporated by reference.

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

**The Central Valley Flood
Protection Board**

c/o Department of Water Resources
Real Estate Branch
1416 Ninth Street, Room 425
Sacramento, CA 95814

--- SPACE ABOVE IS FOR RECORDER'S USE ---

No fee shall be charged by the recorder for services rendered to the State (Government Code Section 7383).

**AGREEMENT ESTABLISHING A COVENANT
RUNNING WITH THE LAND**

This AGREEMENT is made and entered into this _____ day of _____, _____.

(Day)

(Month)

(Year)

by and between Donna Blower, hereinafter referred to as "OWNER(S)", and the Sacramento and San Joaquin Drainage District, acting by and through The Central Valley Flood Protection Board of the State of California, hereinafter referred to as the "BOARD", for valuable consideration, the receipt and adequacy of which are hereby acknowledged.

1. This AGREEMENT applies to residential and commercial structures, related improvements, and real property, hereinafter referred to as "OWNER'S PROPERTY", acquired by OWNER(S) by grant deed recorded _____, as Document

(Date)

Number _____, Official Records of Sacramento County.

(Number)

2. These covenants and equitable servitudes shall bind the OWNER(S), any successors, executors, heirs, administrators, and assigns. It is the express intent of OWNER(S) and the BOARD that these covenants and equitable servitudes touch and concern and that the burdens run with the OWNER'S PROPERTY and inure to the benefit of and be binding on their successors, executors, heirs, administrators, and assigns.

3. OWNER(S) acknowledge that OWNER'S PROPERTY or a portion thereof is located within an adopted plan of flood control and subject to California Code of Regulations, Title 23, Division 1, hereinafter referred to as the "REGULATIONS".

4. OWNER(S), being fully aware that there is a risk that improvements on the OWNER'S PROPERTY may sustain flood damage and may cause flood damage elsewhere, agrees for OWNER(S), any successors, executors, heirs, administrators, and assigns to comply with all terms of this AGREEMENT and all conditions of the BOARD'S Permit No. 18590 BD, attached as Exhibit A, and any future changes therein, as on file with The Central Valley Flood Protection Board at 3310 El Camino Avenue, Sacramento, California, and any BOARD permit governing improvements to which improvements made pursuant to Permit No. 18590 BD are physically attached, and to the REGULATIONS.

Agreement Establishing A Covenant
Running With The Land
Donna Blower
Page 2

5. OWNER(S) agrees for OWNER(S), any successors, executors, heirs, administrators, and assigns to release, hold harmless, defend, and indemnify the State of California, its agencies, officers, employees and agents from any and all claims, costs, expenses, and liability for any damages from flood, river, or reservoir operation to OWNER'S PROPERTY and any and all claims, costs, expenses, and liability caused by or contributed to by OWNER(S) improvements or by OWNER(S) failure to comply with the terms and conditions of the BOARD'S Permit No. 18590 BD and any future changes therein, as on file with The Central Valley Flood Protection Board at 3310 El Camino Avenue, Sacramento, California, or any BOARD permit governing improvements to which improvements made pursuant to Permit No. 18590 BD are attached, or for failure to comply with the REGULATIONS.

6. The BOARD will provide timely notice to the OWNER(S) before changing any condition contained in Permit No. 18590 BD.

7. The BOARD holds title to interest in real property that is benefited by the covenants and equitable servitudes described above. These interests in real property owned by the BOARD constitute a part of the flood control system of the State over which the BOARD exercises authority pursuant to the laws of the State of California, including Water Code Section 8710.

8. This AGREEMENT shall be recorded in the Official Records of Sacramento County.

The BOARD hereby accepts the covenants set forth above.

OWNER(S):	SACRAMENTO AND SAN JOAQUIN DRAINAGE DISTRICT ACTING BY AND THROUGH THE STATE OF CALIFORNIA
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Signature of Property Owner

Jay S. Punia
Executive Officer

Printed Name of Property Owner

Signature of Property Owner

Printed Name of Property Owner

THE RECLAMATION BOARD

ROOM 335, RESOURCES BUILDING
1416 9TH STREET • SACRAMENTO 95814
TELEPHONE: (916) 445-9454



JAN 23 1976

File No. 3005.70.100

Application No. 11160

Fred L. & H. E. Dumbacher
Box 36
Walnut Grove, CA 95690

Dear Fred L. & H. E. Dumbacher:

The Reclamation Board on January 22, 1971, adopted a policy guide for encroachment control and procedures on the Project Levees within the Sacramento-San Joaquin Drainage District.

An inventory of the existing authorized and unauthorized encroachments was made by the Department of Water Resources within Reclamation Districts Nos. 341, 369, 551, 554, 556, 563, 755, 1601 and Brannan-Andrus Levee Maintenance District.

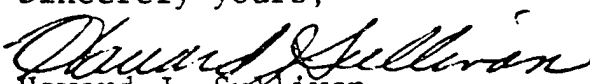
The encroachments were categorized according to criteria established by the Reclamation Board. The encroachments described in the enclosed Board Order are compatible with flood control requirements; however, no previous Board approval had ever been obtained. Under Section 8710 of the California Water Code, a Reclamation Board Order should have been obtained before the encroachment was installed.

After considering all the facts in regard to the nature of the existing work, the Board at its meeting of July 18, 1975, approved the issuance of a Board Order to you. A copy of the Board Order is enclosed for your records. A copy has also been transmitted to the responsible local maintaining agency.

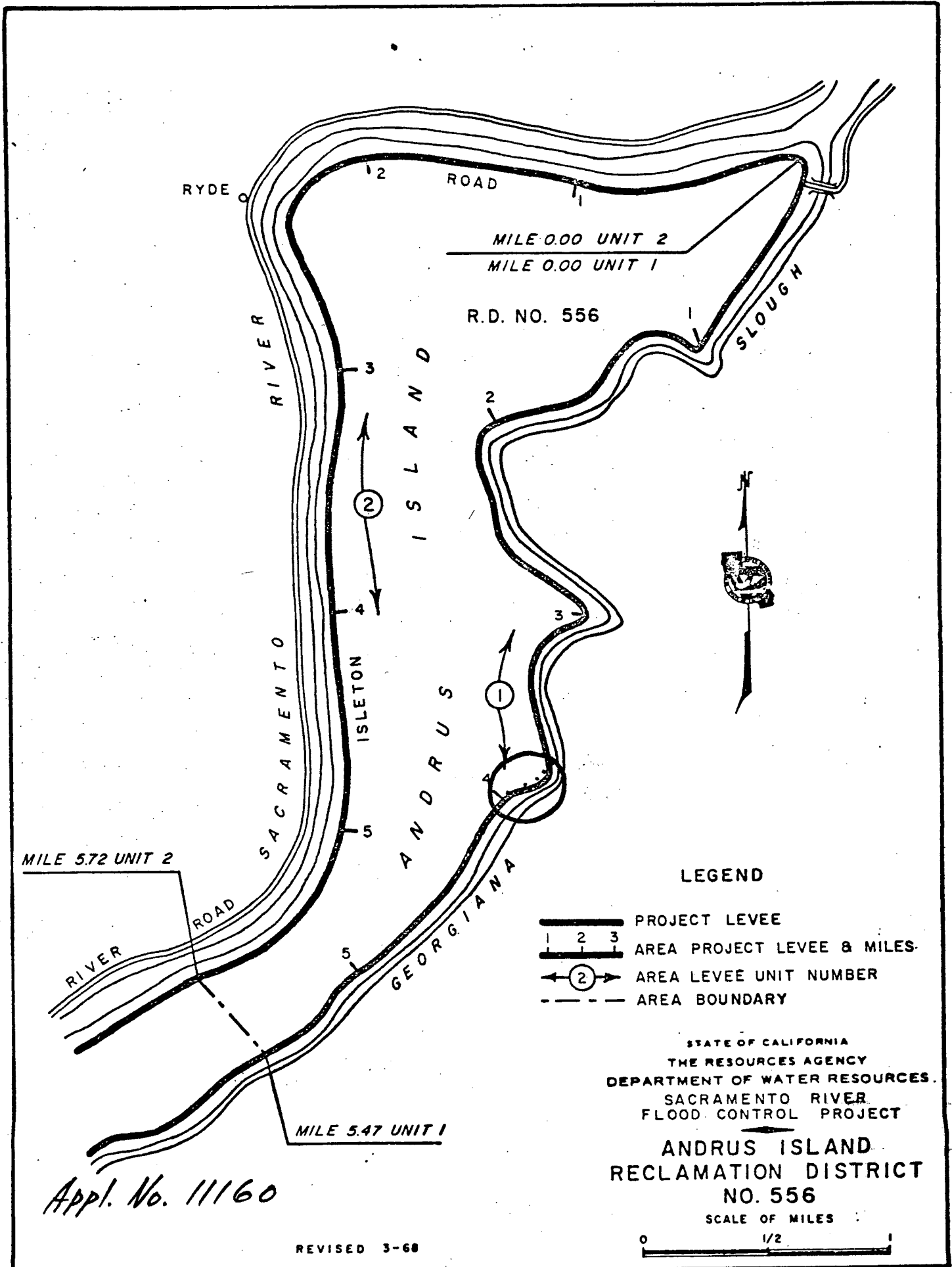
In the future, if any modification is contemplated on the existing approved work, or if you plan to place any new encroachments on or adjacent to the Project Levees, it will be necessary for you to obtain approval from the Reclamation Board before commencing work.

Information in regard to filing an application with the Board for approval of plans, may be obtained by contacting our office at 3251 "S" Street, Sacramento 95816, or telephone (916) 445-9225.

Sincerely yours,


Howard J. Sullivan
Assistant Secretary
The Reclamation Board

Enclosure



ORDER OF THE RECLAMATION BOARD

3005.70.100

Application No. 11160

The Matter of
 Fred L. & H. E. Dumbacher
 Box 36
 Walnut Grove, CA 95690

For approval of retention of existing encroachments: located in Reclamation District No. 556, Unit No. 1, on the right bank of Georgiana Slough at Andrus Island in Sacramento County. Said encroachments are more particularly located and described as follows:

(See reverse side for location & description.)

having been set for hearing on the 18th day of July, 1975, and having been heard on said day; NOW, THEREFORE, IT IS ORDERED, that said existing encroachments are hereby approved and permission to retain said encroachments is hereby granted, subject to all the terms, conditions and restrictions attached hereto, which are incorporated herein by reference and made a part hereof.

GENERAL CONDITIONS

ONE: This order is issued under the authority of Sections 8700 - 8723 of the State Water Code;

TWO: This order is to be strictly construed and no work other than that specifically described herein is authorized hereby;

THREE: This approval does not carry with it permission to construct any works on lands owned by the Sacramento and San Joaquin Drainage District, nor on any other lands whatsoever;

FOUR: This order shall remain in effect until revoked. This order is revokable on 15 days' notice in the event that any conditions contained herein are not complied with;

FIVE: This order is granted with the understanding that this action is not to be considered as establishing any precedent with respect to any other application received by The Reclamation Board;

SIX: The permittee agrees by the acceptance of this order to exercise reasonable care to operate and maintain properly any work authorized herein and agrees to conform to standards of operation and maintenance prescribed by the State of California;

SEVEN: The permittee to whom this order is issued shall, whenever the same is required by law, secure the written order or consent to any work hereunder from any other public agency having jurisdiction;

EIGHT: The permittee is responsible for all liability for personal injury or property damage which may arise out of failure on the permittee's part to perform his obligations under this order. In the event any claim of liability is made against the State of California or any department thereof, the United States of America, a local district or other maintaining agency and the officers, agents or employees thereof, permittee shall defend, indemnify and hold them and each of them harmless from such claim.

SPECIAL CONDITIONS

None.

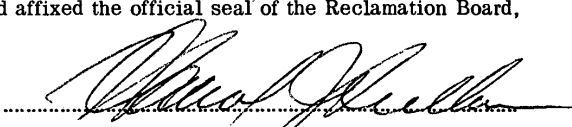
STATE OF CALIFORNIA
 COUNTY OF SACRAMENTO
 Office of the Reclamation Board

ss.

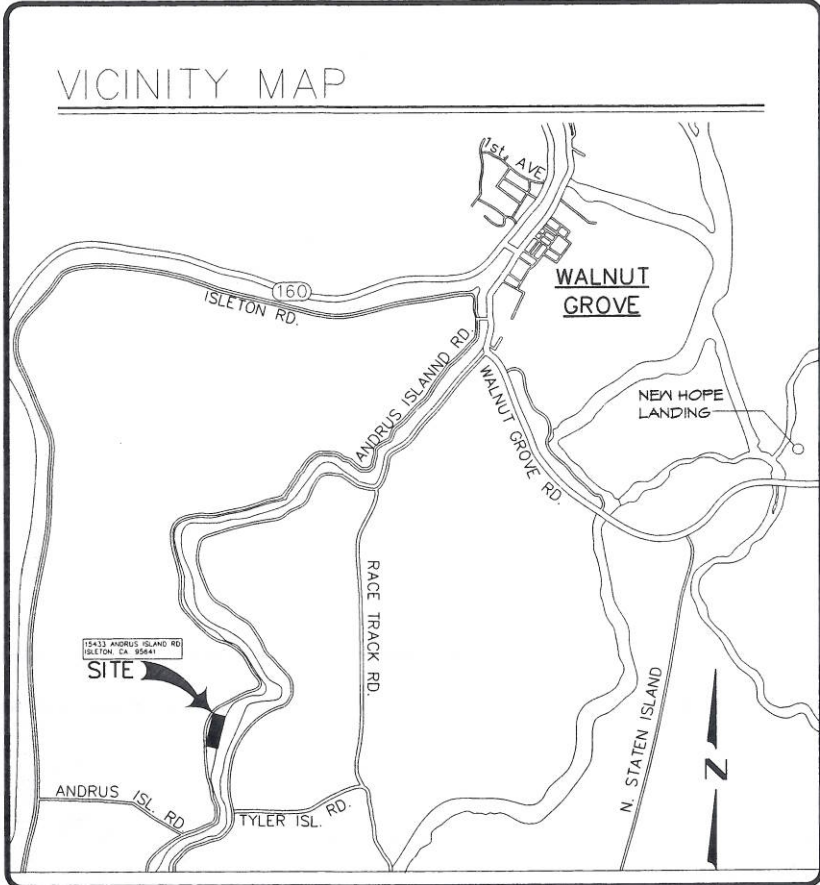
I HOWARD J. SULLIVAN do hereby certify that the above and foregoing is a true and correct copy of an Order made by said Board at the above indicated meeting.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the Reclamation Board, this 22nd day of December, 1975.

(SEAL)


 Howard J. Sullivan
 Assistant Secretary
 The Reclamation Board

<u>Levee Mile</u>	<u>Description</u>
3.80	Ramp on landward slope.
3.86	Ramp on landward slope.
3.89 - 3.91	Landscaping, plants, flowers, wooden steps & 1 pole with floodlight on landward slope.
3.91	Ramp on waterward slope.
3.95 - 3.97	Dwelling on waterward berm. Boat dock in stream.
4.00	8-inch pipe through levee, 3.7 feet below crown. Pump on waterward berm. Gate valve on waterward side.



BLOWER RESIDENCE

15433 ANDRUS ISLAND
ISLETON, CA. 95641

ARCHITECT

GILBERT LABRIE, AIA
P.O. BOX 183
WALNUT GROVE, CA. 95690
PH: (916) 776-2277

OWNER

DONNA OBERT BLOWER
19702 6th PLACE NW
SHORELINE, WA. 98177

SITE ANALYSIS

ASSESSOR'S PARCEL NO.: 156-0020-062-0000
AREA: 1627± SQ. FT.
ZONING: GEORGIANA SLOUGH
FEMA FLOOD ZONE: AE - FLD. ELEV. = +9.4
EXISTING USES: RESIDENTIAL
PROPOSED USE: RESIDENTIAL REMODEL

SITE INFORMATION

SITE ADDRESS: 15433 ANDRUS ISLAND ROAD
CITY: ISLETON
STATE: CALIFORNIA, 95641

GENERAL NOTES & CODES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO REQUIREMENTS SET FORTH IN THE 2001 CBC, CPC, CMC AND GOVERNING STATE AND LOCAL CODES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO BE AN EXACT REPRESENTATION OF THE FINAL SYSTEM. DO NOT SCALE.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, EQUIPMENT AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL BE RESPONSIBLE FOR ANY REVISIONS, CHANGES, TRANSITIONS, OFFSETS, ETC., NECESSARY TO MAKE A COMPLETE AND FUNCTIONING SYSTEM CONSISTENT WITH THE INTENT OF THE DESIGN.
- SUBSTITUTIONS OF "OR EQUAL" EQUIPMENT SUBJECT TO WRITTEN APPROVAL OF ARCHITECT/ENGINEER AND/OR OWNER.
- COORDINATE PIPING ROUTES WITH OTHER TRADES TO AVOID INTERFERENCE.
- TESTING OF ALL SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH BEST INDUSTRY STANDARDS.

FLOOD PLAIN REQUIREMENTS

- NO MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT OR SYSTEMS BELOW ELEVATION +1.00 FT UGGS DATUM OR ALL EQUIPMENT SHALL BE IN WATERTIGHT CONTAINERS AND THE SYSTEMS SHALL BE FOR WATERTIGHT SERVICE.
- THIS FOUNDATION AND ALL INTERIOR AND EXTERIOR WALLS ANCHORED TO IT, HAVE BEEN DESIGNED TO PREVENT FLOATION, COLLAPSE OR LATERAL MOVEMENT RESULTING FROM HYDRODYNAMIC & HYDROSTATIC LOADS INCLUDING THE EFFECTS OF BOUANCY. A VELOCITY OF 2.0 FPS WAS USED AT THIS LOCATION.
- ALL WOOD INSTALLED BELOW THE 100-YR. FLOOD PLAIN ELEVATION SHALL BE PRESSURE TREATED.

TITLE 24 NOTES

- CAULK AND SEAL ALL BUILDING ENVELOPE PENETRATIONS TO PREVENT AIR INFILTRATION.
- EQUIPMENT WHICH REQUIRES PREVENTIVE MAINTENANCE TO MAINTAIN EFFICIENT OPERATION SHALL BE FURNISHED WITH COMPLETE NECESSARY MAINTENANCE INFORMATION.
- ALL GAS-FIRED FAN TYPE CENTRAL FURNACES AND COOKING APPLIANCES SHALL BE EQUIPPED WITH AN INTERMITTENT IGNITION DEVICE.
- PROVIDE BACKDRAFT DAMPERS AT ALL FAN SYSTEMS EXHAUSTING AIR TO THE OUTSIDE.
- PROVIDE R-3 (MIN) INSULATION FOR THE FIRST FIVE FEET OF PIPE CLOSEST TO THE WATER HEATER.
- ALL NEW DOORS AND WINDOWS SHALL BE WEATHERSTRIPPED, CERTIFIED AND LABELED TO THE ENERGY COMMISSION.
- ALL NEW DUCT WORK SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED PER 2001 CMC.
- PROVIDE R-12 (MIN) BLANKET INSULATION AT WATER HEATER.
- ALL WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS AS PER 2001 CPC SECTION 510.5.
- ALL VENTING SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED TO DEVELOP A POSITIVE FLOW ADEQUATE TO CONVEY ALL PRODUCTS OF COMBUSTION TO THE OUTSIDE ATMOSPHERE AS PER 2001 CPC SECTION 512.3.
- WATER HEATER RELIEF VALVES LOCATED INSIDE A BUILDING SHALL BE PROVIDED WITH A DRAIN. THE DRAIN SHALL EXTEND FROM THE VALVE TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2" NOR THE LESS THAN 6" ABOVE THE GROUND AND POINTING DOWN AS PER 2001 CPC SECTION 608.5.
- FACTORY-BUILT FIREPLACES AND FACTORY-BUILT CHIMNEYS SHALL BE U.L. LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND THE MANUFACTURER'S INSTRUCTIONS AS PER 2001 CBC SECTION 3102.5.

GENERAL CONDITIONS

- THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE DRAWING PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT DESIGNER.
- THE SUB-CONTRACTOR SHALL CHECK REQUIRED DIMENSIONS, BUILDING CONDITIONS, AND EXISTING SITE CONDITIONS BEFORE STARTING WORK. THE PROJECT MANAGER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES WITHIN THEIR RESPECTIVE SCOPE OF WORK.
 - THESE DRAWINGS, IN ASSOCIATION WITH THE CONTRACT SPECIFICATIONS, INDICATE THE GENERAL SCOPE OF THIS PROJECT IN TERMS OF THE CONSTRUCTED DESIGN CONCEPT, DIMENSIONS OF THE BUILDING(S), THE MAJOR FINISHING ELEMENTS AND THE TYPES OF STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS.
 - THE USE OR REPRODUCTION OF THESE CONTRACT DOCUMENTS BY ANY UTILITY PROVIDER, SUB-CONTRACTOR, ERECTOR, FABRICATOR OR MATERIAL SUPPLIER, IN LIEU OF PREPARATION OF SEPARATE "SHOP-DRAWINGS", SHALL SIGNIFY HIS/HER ACCEPTANCE OF ALL INFORMATION SHOWN HEREIN AS CORRECT, AND OBLIGATES THEMSELVES TO ANY JOB EXPENSES, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR DUE TO DEVIATIONS FROM THE DRAWING SCOPE.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO BE TO CENTERLINE OF COLUMN OR FACE OF UNFINISHED WALL.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH STANDARDS OF "BEST" PRACTICE BY WORKERS SKILLED IN THEIR RESPECTIVE TRADES AND MANUFACTURING PROCESSES.
 - IN GENERAL, SUBJECT TO THE INTERPRETATION BY THE AGREEMENTS, THE DOCUMENTS SHALL TAKE PRECEDENCE IN THE FOLLOWING DESCENDING ORDER: CLIENT-BUILDER AGREEMENT, WRITTEN SPECIFICATIONS AND DESCRIPTIONS, DRAWINGS AND ILLUSTRATED DESCRIPTIONS.
 - CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR THE RESPECTIVE MATERIALS AND ACCORDING TO THE MANUFACTURER'S STANDARD CONSTRUCTION PRACTICES AND TERMS.
 - THE DRAWINGS AND SPECIFICATIONS SHALL REPRESENT THE FINISHED STRUCTURE. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. IS THE RESPONSIBILITY OF THE INSTALLING SUBCONTRACTOR. THE BUILDER'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR CONSTRUCTION METHODS AND SAFETY CONDITIONS AT THE SITE PER OSHA & OTHER AGENCIES.
 - ALL CONSTRUCTION AND WORKMANSHIP ON THIS PROJECT WILL COMPLY WITH ALL REQUIREMENTS OF THE CURRENTLY ADOPTED BUILDING CODES, LOCAL ORDINANCES AND APPLICABLE REGULATORY AGENCIES, AND BUILDING TRADE STANDARDS.

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FOUNDATIONS/CONCRETE (GEN. CONDITIONS) - "SEE SHT. N-1 FOR NOTES"

- PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. PIPES AND DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN THE STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
- REFER TO THE DRAWINGS FOR THE DIMENSIONS, REVEALS, AREAS OF TEXTURED SURFACES OR SPECIAL FINISHES. ITEMS REQUIRED TO BE CAST INTO THE CONCRETE, CURES AND SLAB DEPRESSIONS.

FRAMING / STEELWORK

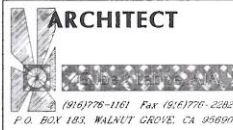
- PROVIDE FIRE STOPS PER UBC (LATEST APPROVED EDITION). FIRE STOPS SHALL BE 2" MIN. NOMINAL THICKNESS AND SHALL BE THE FULL WIDTH OF THE ENCLOSED SPACE. PLACE FIRE STOPS AT A MAXIMUM SPACING OF 10'-0" IN THE VERTICAL DIRECTION.
- STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, DUCTS, ETC. UNLESS SPECIFICALLY STATED OR DETAILED.
- PROVIDE 2X SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL SUPPORTS. BLOCKING SHALL BE ONE PIECE AND THE FULL DEPTH OF THE JOIST OR RAFTER.
- CROSS BRIDGING OR SOLID BLOCKING SHALL BE PROVIDED AT 8'-0" O.C. MAXIMUM FOR STANDARD CEILING JOISTS AND AT 2'-0" MAX. FOR JOISTS MORE THAN 8" DEEP.

WALL COVERING & INSULATION

- PROVIDE 5/8" TYPE 'X', 1 HOUR FIRE PROTECTION AT ENCLOSED USABLE STORAGE SPACES (E. UNDER STAIRS).
- LATHING AND PLASTERING SHALL COMPLY WITH LOCAL REQUIREMENTS AND/OR FHA REQUIREMENTS, WHICHEVER IS OF GREATER RESTRICTIVE VALUE.

SECURITY AND FIRE PROTECTION

- DUELLING SECURITY SHALL CONFORM TO CH. 41, UBC.
- SECURITY GRILLS OR STORM SHUTTERS OVER ESCAPE WINDOWS SHALL HAVE SAFETY RELEASE MECHANISMS AS SET FORTH BY LOCAL FIRE & POLICE DISTRICTS.



BLOWER REMODEL

RESIDENTIAL REMODEL

15433 ANDRUS ISLAND ROAD
ISLETON
CALIFORNIA, 95641

CURRENT ISSUE DATE:
2.29.08
ISSUED FOR:
COUNTY COMMENTS

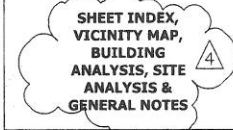
PROJECT NO 7581.01

DWN BY: I.E.C. & SAL M.

CHECKED BY: G LABRIE

NO	DATE	ISSUE
1	8.23.07	PRELIM DESIGN
2	9.11.07	PERMITTING
3	11.06.07	COUNTY COMMENTS
4	1.25.08	COUNTY COMMENTS
5	2.29.08	COUNTY COMMENTS

SHEET TITLE



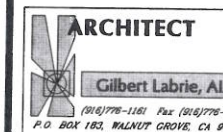
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T-1

1st SUBMITTAL: ..

2nd SUBMITTAL: ..

FILE NAME: ...



BLOWER REMODEL

RESIDENTIAL REMODEL

15433 ANDRUS ISLAND ROAD
ISLETON
CALIFORNIA, 95641

CURRENT ISSUE DATE:
1.25.08
ISSUED FOR:
COUNTY COMMENTS

PROJECT NO 7581.01

DWN BY: I.E.C. & SAL M.

CHECKED BY: G LABRIE

NO	DATE	ISSUE
1	8.23.07	PRELIM. DESIGN
2	9.11.07	PERMITTING
3	11.06.07	COUNTY COMMENTS
4	1.25.08	COUNTY COMMENTS

SHEET TITLE

OVERALL SITE PLAN

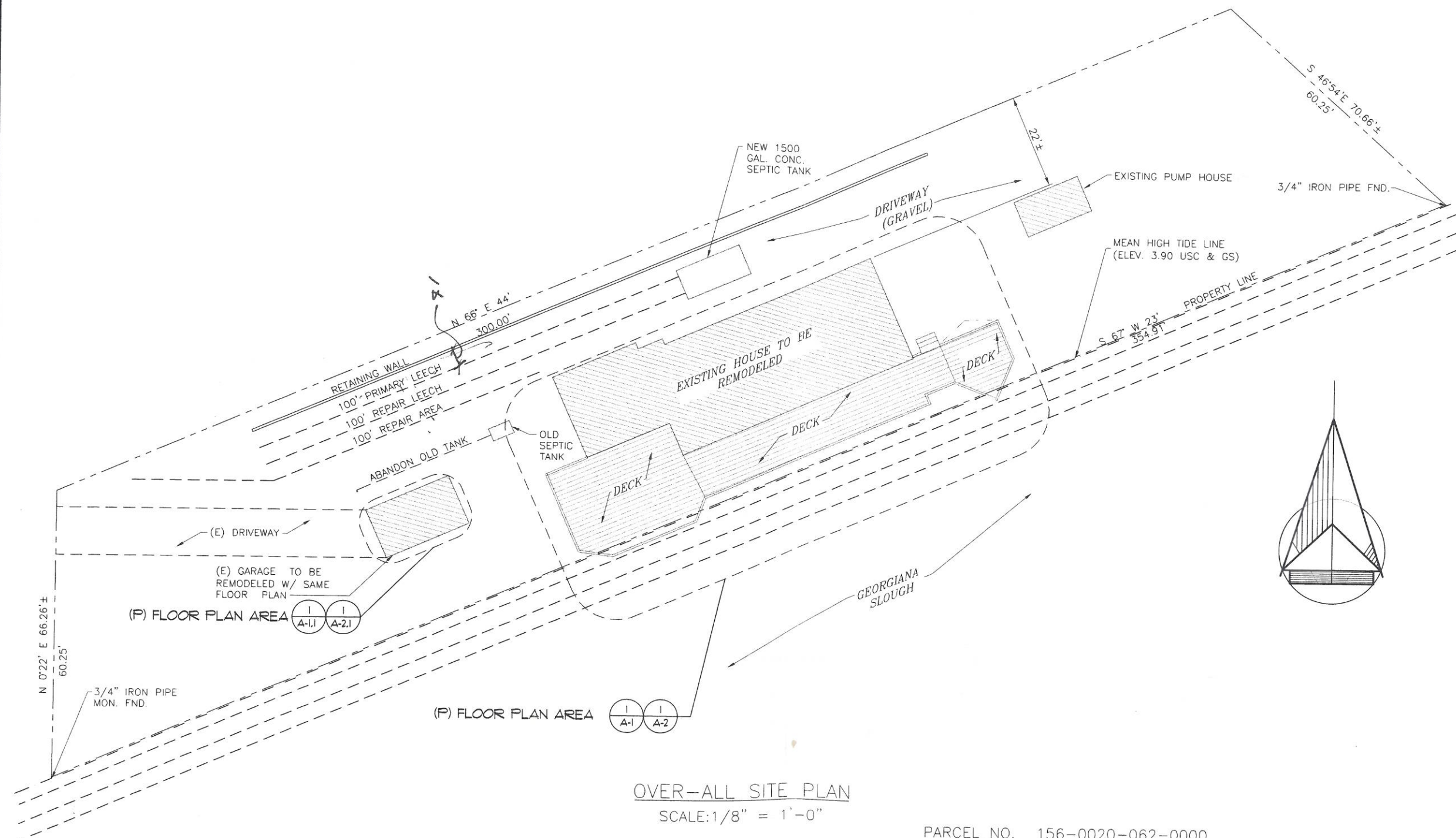
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A-0

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2nd SUBMITTAL: ..

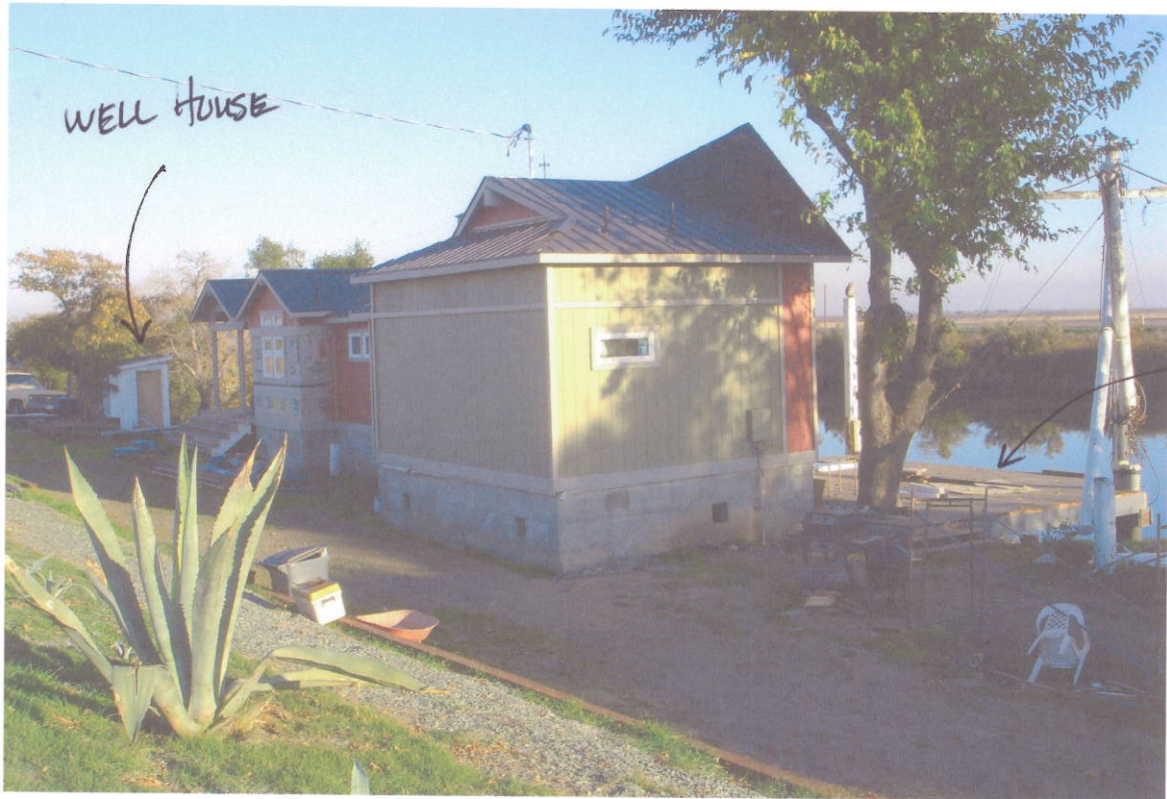
FILE NAME: ..



PARCEL NO. 156-0020-062-0000

SITE ADDRESS: 15433 ANDRUS ISLAND ROAD
SACRAMENTO, CALIFORNIA
SACRAMENTO COUNTY

BLOWER RESIDENCE: 15433 ANDRUS Island Rd
Isleton, CA 95641



WEST ELEVATION: DRIVEWAY & TOE OF LEVEE
AT RETAINING WALL.



EAST ELEVATION: GRAVEL DRIVEWAY
SHOWS TOE OF LEVEE w/ Continuous Retaining Wall



DETACHED GARAGE

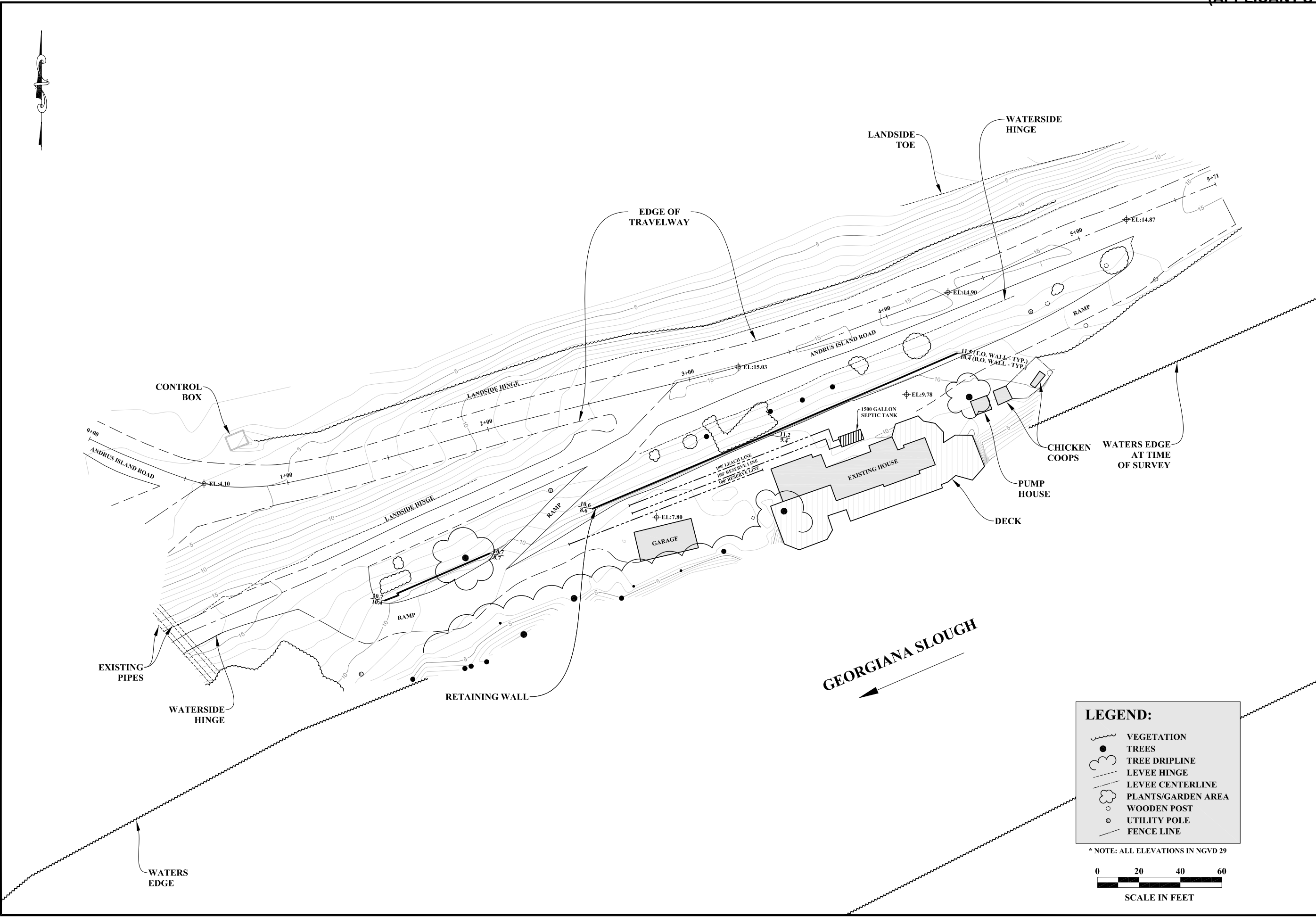


SOUTH ELEVATION



WEST ELEVATION - DETACHED GARAGE





LEGEND:

- VEGETATION
- TREES
- TREE DRIPLINE
- LEVEE HINGE
- LEVEE CENTERLINE
- PLANTS/GARDEN AREA
- WOODEN POST
- UTILITY POLE
- FENCE LINE

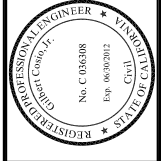
* NOTE: ALL ELEVATIONS IN NGVD 29

0 20 40 60

SCALE IN FEET

MBK ENGINEERS
1771 Tribute Road, Suite A
Sacramento, California 95815
Phone: (916) 456-4400 • Fax: (916) 456-0253

NO.	DATE	APPROVED	REVISION



CCVFPB - APPLICATION NO. 18590
BLOWER RESIDENCE - ANDRUS ISLAND

TOPOGRAPHIC MAP

SCALE: 1" = 20'
JOB NO.: 2440
REQ'D BY: GC
DRAWN BY: JAB/BJ
DATE: 12/9/2010

Bar Length On Original
Drawing Equals One Inch.
Adjust Scale Accordingly

SHEET
1 OF 3
SHEETS



1771 Tribute Road, Suite A
Sacramento, California 95815
Phone: (916) 456-4400 • Fax: (916) 456-0253

REVISION

APPROVED

DATE

NO.



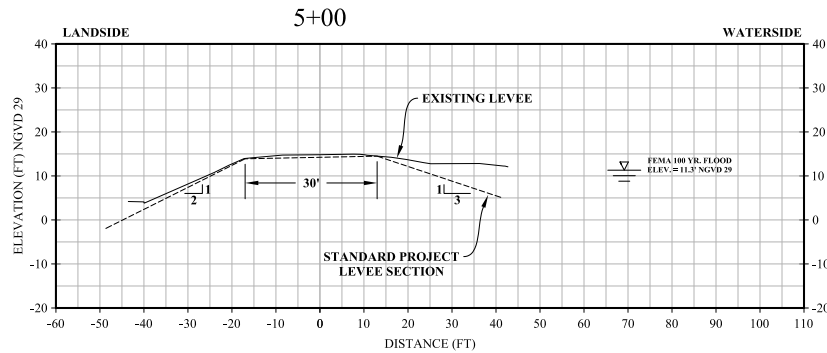
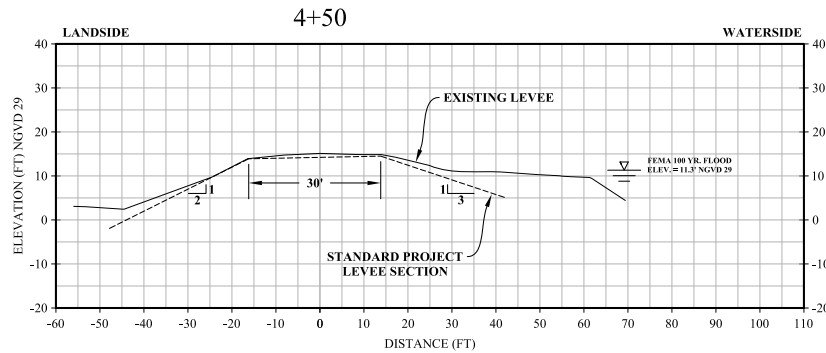
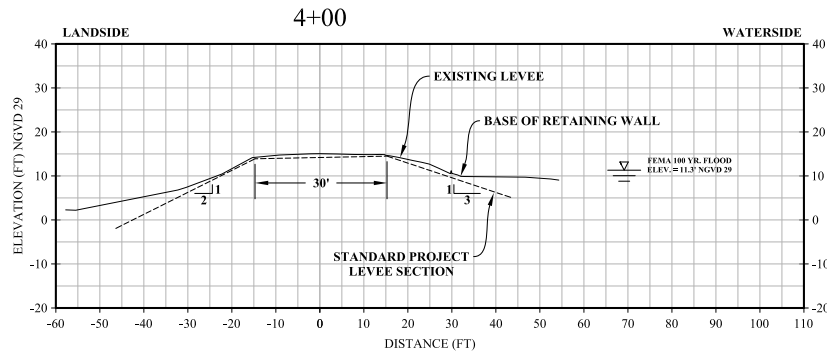
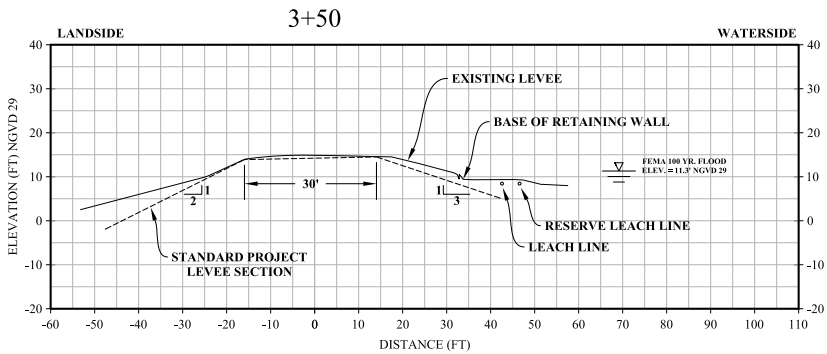
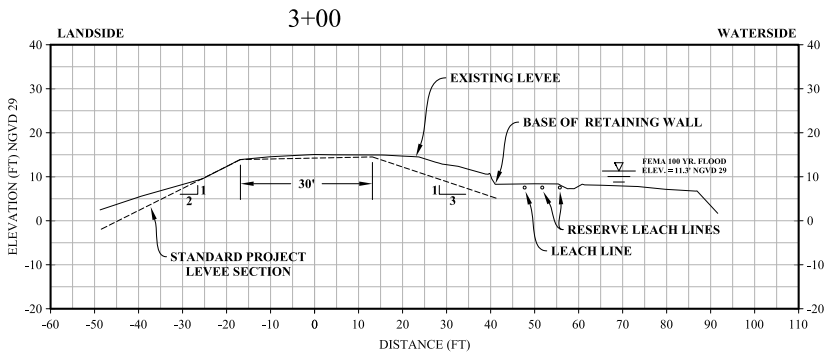
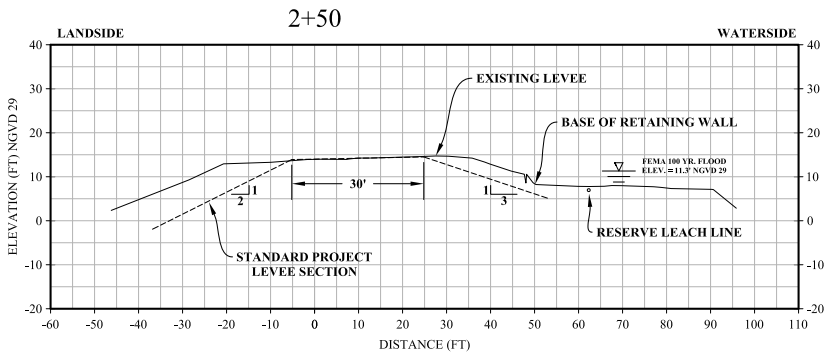
CCVFPB - APPLICATION NO. 18590
BLOWER RESIDENCE - ANDRUS ISLAND

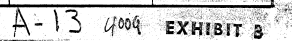
CROSS SECTIONS

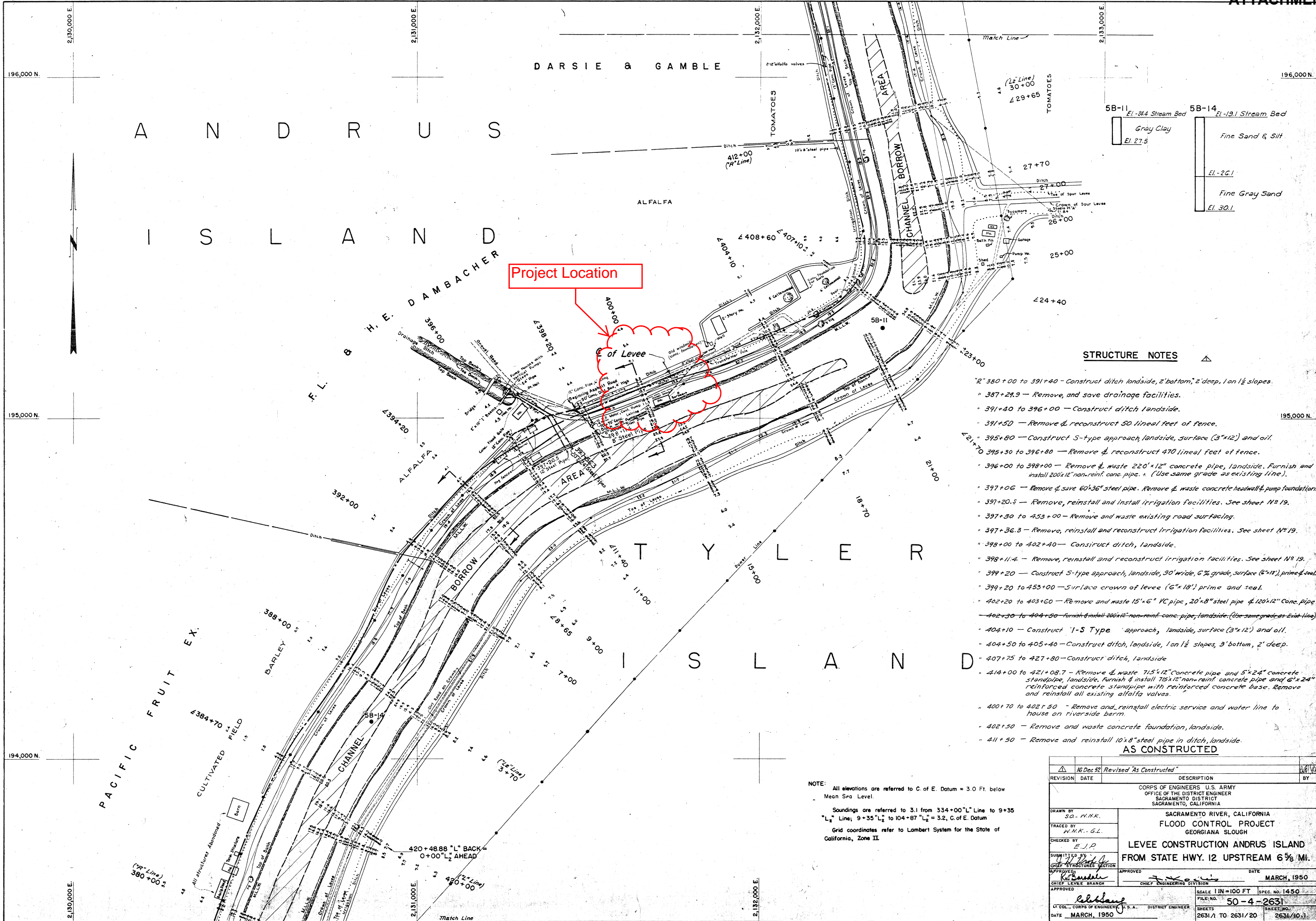
SCALE: 1" = 20'
JOB NO.: 2440
REQ'D BY: GC
DRAWN BY: JAB/BJ
DATE: 12/9/2010

Bar Length On Original
Drawing Equals One Inch.
Adjust Scale Accordingly

SHEET
3 OF 3
SHEETS







Project Location

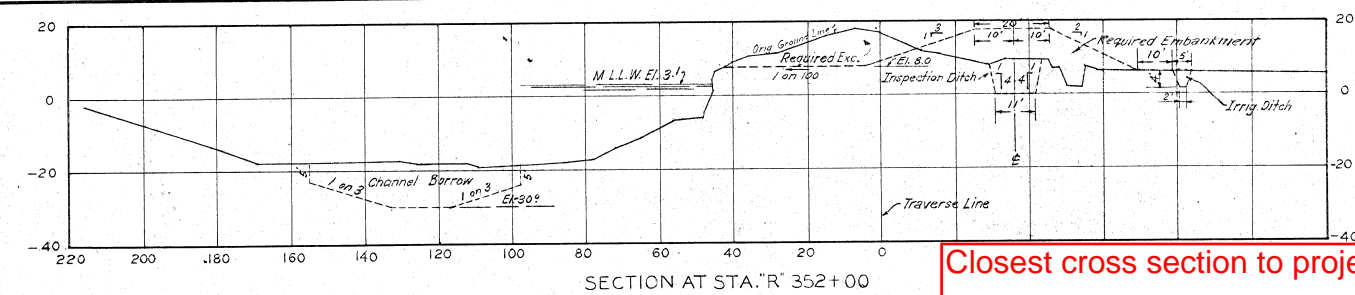
STRUCTURE NOTES

- " 380+00 to 391+40 - Construct ditch landside, 2' bottom, 2' deep, 1 on 1 1/2 slopes.
- " 387+29.9 - Remove, and save drainage facilities.
- " 391+40 to 396+00 - Construct ditch landside.
- " 391+50 - Remove & reconstruct 50 lineal feet of fence.
- " 395+80 - Construct S-type approach, landside, surface (3"x12') and oil.
- " 395+30 to 396+80 - Remove & reconstruct 470 lineal feet of fence.
- " 396+00 to 398+00 - Remove & waste 220'x12" concrete pipe, landside. Furnish and install 200'x12" non-reinf. conc. pipe. (Use same grade as existing line).
- " 397+06 - Remove & save 60'x36" steel pipe. Remove & waste concrete headwall & pump foundation.
- " 397+20.5 - Remove, reinstall and install irrigation facilities. See sheet N2 19.
- " 397+30 to 453+00 - Remove and waste existing road surfacing.
- " 397+36.3 - Remove, reinstall and reconstruct irrigation facilities. See sheet N2 19.
- " 398+00 to 402+40 - Construct ditch, landside.
- " 398+11.4 - Remove, reinstall and reconstruct irrigation facilities. See sheet N2 19.
- " 399+20 - Construct S-type approach, landside, 30' wide, 6% grade, surface (6"x18'), prime & seal.
- " 399+20 to 453+00 - Surface crown of levee (6"x18') prime and seal.
- " 402+20 to 403+60 - Remove and waste 15'x6" VC pipe, 20'x8" steel pipe & 120'x12" conc. pipe.
- " 402+30 to 404+50 - furnish & install 200'x12" non-reinf. conc. pipe, landside. (Use same grade as exist. line).
- " 404+10 - Construct 'I-S' Type approach, landside, surface (3"x12') and oil.
- " 404+50 to 405+40 - Construct ditch, landside, 1 on 1 1/2 slopes, 3' bottom, 2' deep.
- " 407+25 to 421+80 - Construct ditch, landside.
- " 414+00 to 421+08.7 - Remove & waste 71.5'x12" concrete pipe and 5'x24" concrete standpipe, landside. Furnish & install 71.5'x12" non-reinf. concrete pipe and 6'x24" reinforced concrete standpipe with reinforced concrete base. Remove and reinstall all existing alfalfa valves.
- " 400+70 to 402+50 - Remove and reinstall electric service and water line to house on riverside berm.
- " 402+30 - Remove and waste concrete foundation, landside.
- " 411+50 - Remove and reinstall 10'x8" steel pipe in ditch, landside.

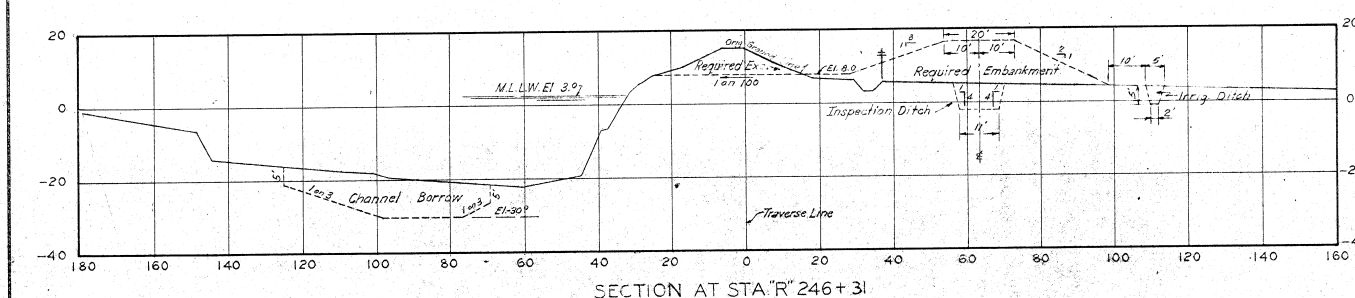
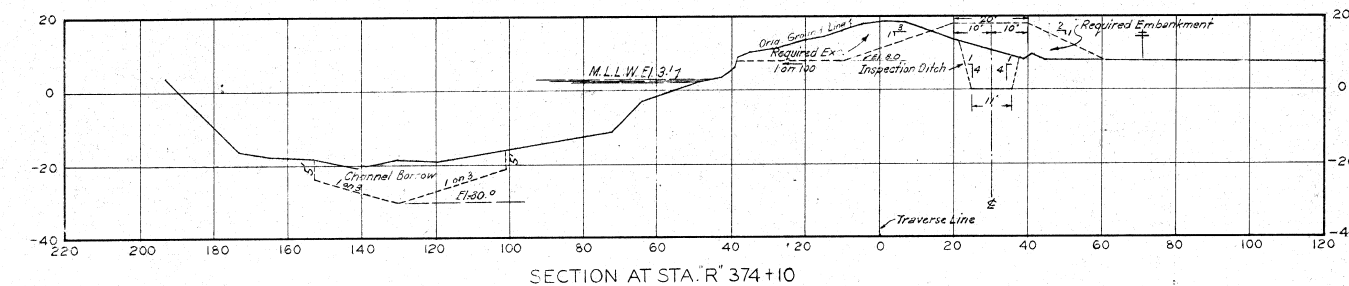
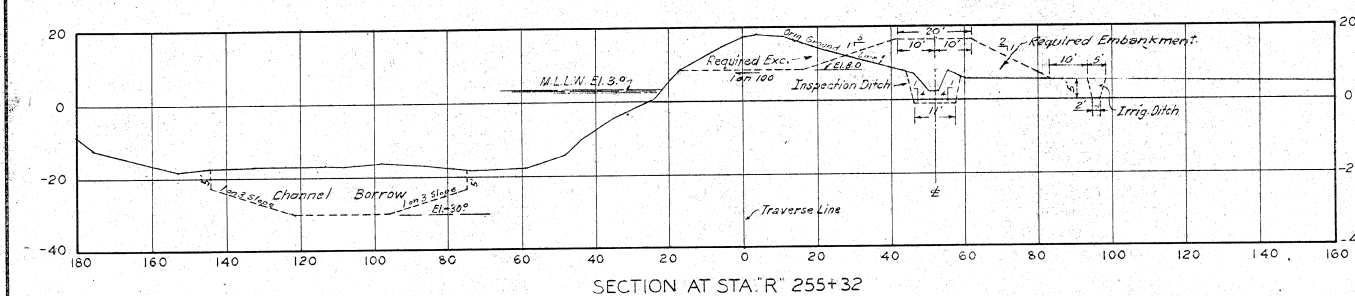
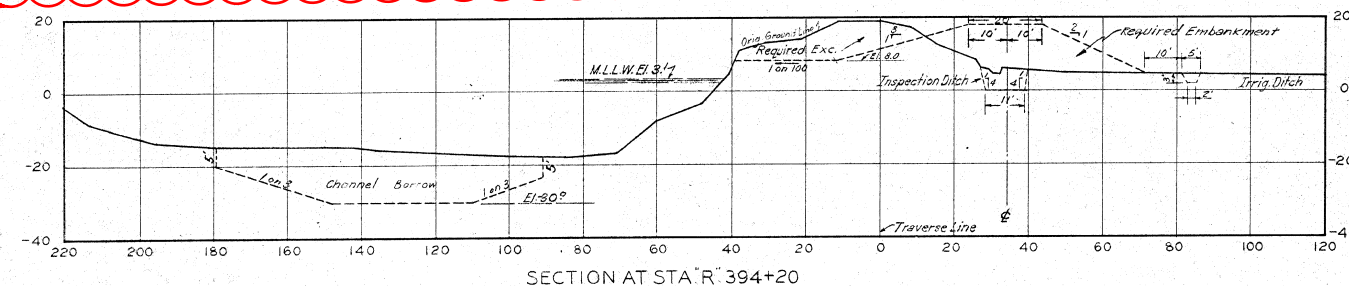
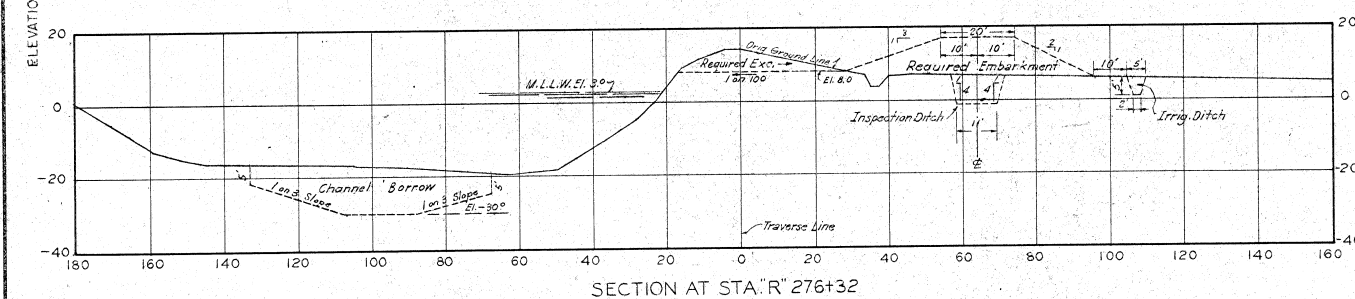
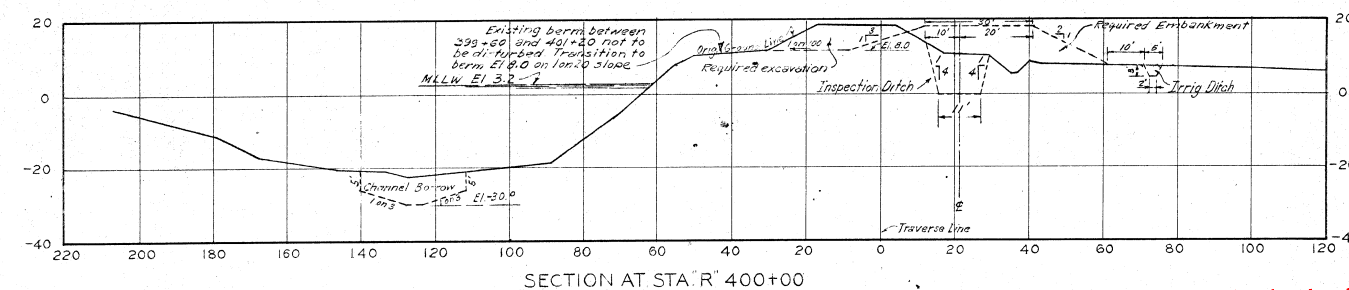
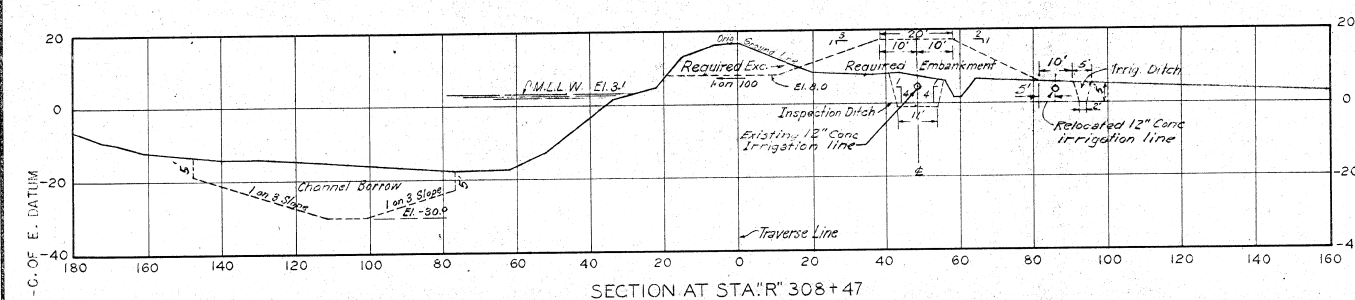
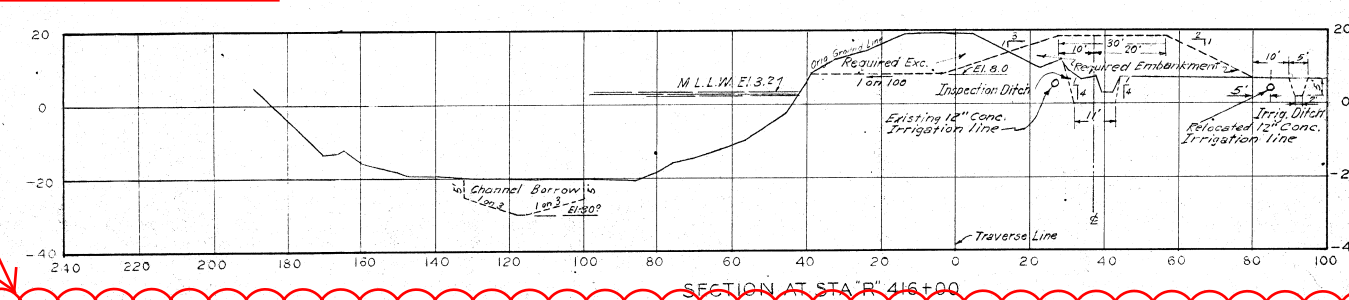
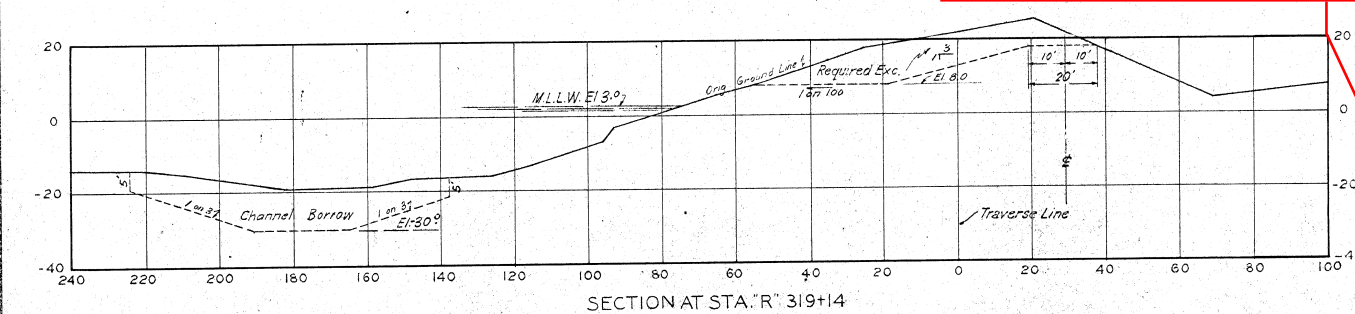
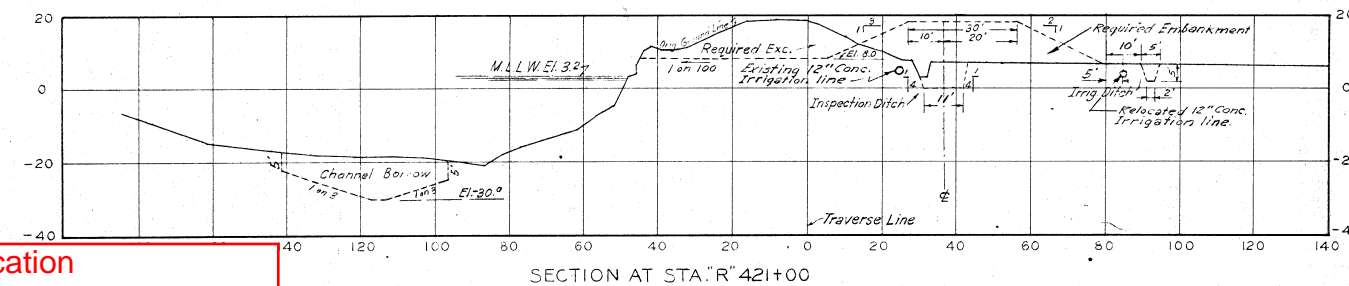
AS CONSTRUCTED

NOTE: All elevations are referred to C. of E. Datum = 3.0 Ft. below Mean Sea Level.
Soundings are referred to 3.1 from 334+00 "L" Line to 9+35 "L" Line; 9+35 "L" Line to 104+87 "L" Line = 3.2, C. of E. Datum
Grid coordinates refer to Lambert System for the State of California, Zone II.

16 Dec 52 Revised "As Constructed"		BY
REVISION	DATE	DESCRIPTION
CORPS OF ENGINEERS U.S. ARMY OFFICE OF THE DISTRICT ENGINEER SACRAMENTO DISTRICT SACRAMENTO, CALIFORNIA		
SACRAMENTO RIVER, CALIFORNIA FLOOD CONTROL PROJECT GEORGIANA SLOUGH		
LEVEE CONSTRUCTION ANDRUS ISLAND FROM STATE HWY. 12 UPSTREAM 6 1/2 MI.		
DRAWN BY S.G. H.N.K.	TRACED BY H.N.K. - G.L.	CHECKED BY E.J.P.
SUBMITTED BY [Signature]		APPROVED [Signature]
CHIEF STRUCTURES SECTION		CHIEF LEVEE BRANCH
APPROVED [Signature]		APPROVED [Signature]
DATE MARCH, 1950		DATE MARCH, 1950
SCALE 1 IN = 100 FT FILE NO. 50-4-2631		SPEC. NO. 1450
SHEETS 2631/1 TO 2631/20		SHEET NO. 2631/10



Closest cross section to project location



TYPICAL SECTIONS

SCALE: 1" = 20' HOR. AND VERT.

REVISION	DATE	DESCRIPTION	BY
CORPS OF ENGINEERS, U. S. ARMY OFFICE OF THE DISTRICT ENGINEER SACRAMENTO DISTRICT SACRAMENTO, CALIFORNIA			
DRAWN BY: L. J. S. CHECKED BY: L. J. S. SUBMITTED BY: E. J. P. APPROVED: [Signature] DATE: MARCH, 1950			
SACRAMENTO RIVER CALIFORNIA FLOOD CONTROL PROJECT GEORGIANA SLOUGH LEVEE CONSTRUCTION ANDRUS ISLAND FROM STATE HWY. 12 UPSTREAM 6 1/2 MI.			
APPROVED: [Signature] DATE: MARCH, 1950		APPROVED: [Signature] DATE: MARCH, 1950	
SCALE: 1" = 20 FT. FILE NO: 50-4-2631		SHEET NO: 2631/14	



Water Resources • Flood Control • Water Rights

TECHNICAL MEMORANDUM

DATE: November 16, 2010

SUBJECT: Hydraulic Impact Analysis of Blower Residence Structures
CCVFPB Application No. 18590

Prepared by: Michael Archer, P.E.

Reviewed by: Don Trieu, P.E.



The Blower residence and associated structures are located on Georgiana Slough on Andrus Island at 15433 Andrus Island Road, as shown in Figure 1. The structures are located on the waterside of the Andrus Island levee, as shown in Figures 2 and 3. The bank on which the structures are located is lower in elevation than the Sacramento River Flood Control Project (SRFCP) design flood plane (1957 Profile). The purpose of the analysis documented herein was to determine the potential hydraulic impacts of the Blower residence garage structure shown in Figure 3.

The MBK version of the Sacramento and San Joaquin River Basins Comprehensive Study (Comp Study) Sacramento River UNET model, which was originally developed by the United States Army Corps of Engineers, was used for this analysis. The extents of the hydraulic model are shown in Figure 4. Georgiana Slough is near the downstream boundary of the model, but the study site is sufficiently far from the boundary, approximately eight miles, that the results of the analysis will not be affected by the boundary condition.

The SRFCP design discharge in Georgiana Slough is 20,600 cfs. An existing hydraulic model simulation with a Georgiana Slough peak discharge of 21,400 cfs was selected for the Base Condition.

The Blower residence is located at USGS river mile 8.25 on Georgiana Slough. The corresponding Comp Study river mile is 8.33. The nearest hydraulic model cross-section to the study site is located at river mile 8.25 (see Figure 2). The impact of the Blower residence garage structure was estimated by adding an encroachment to the right bank of cross-section 8.25 as shown in Figure 5. The garage structure is approximately 15 feet wide. To simplify the modeling approach the structure was conservatively modeled by applying an encroachment to the entire right bank for a width of approximately 50 feet, as shown in Figure 5. An additional level of conservatism is present due to the hydraulic model computations that linearly interpolate the encroachment to the upstream and downstream cross-sections. In other words, the hydraulic model interpolates the encroachment between cross-sections 8.50 and 8.00, resulting in an encroachment footprint of about 66,000 square feet, significantly larger than the 450 square foot footprint of the garage structure.

Results

The analysis shows no change in maximum computed water surface outside of the range of +0.01 feet to -0.02 feet for the SRFCP design flow. Therefore it can be concluded that the Blower residence structures have no measureable impact on the SRFCP design flood plane.

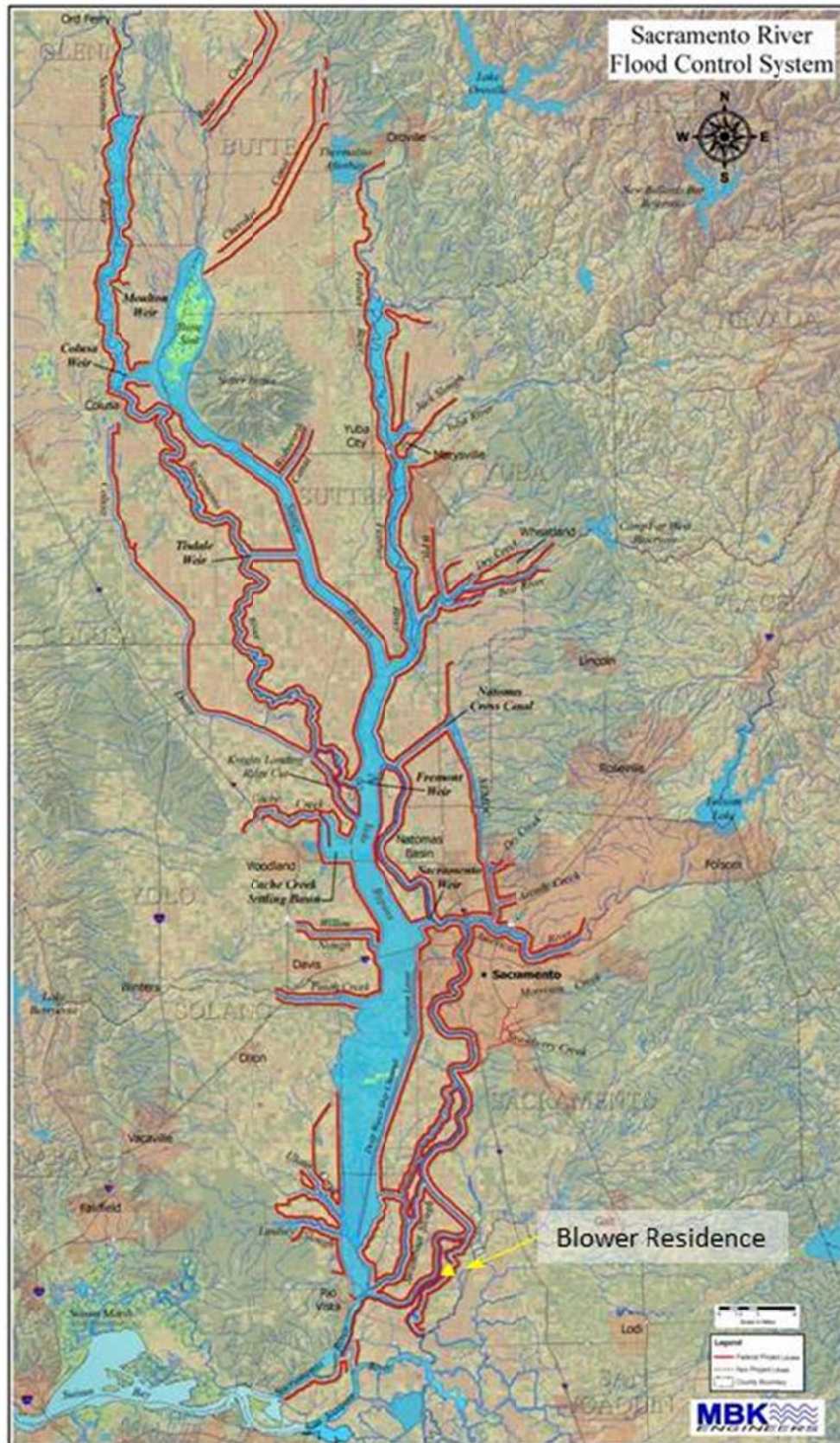


Figure 1. Location Map



Figure 2. Site Map

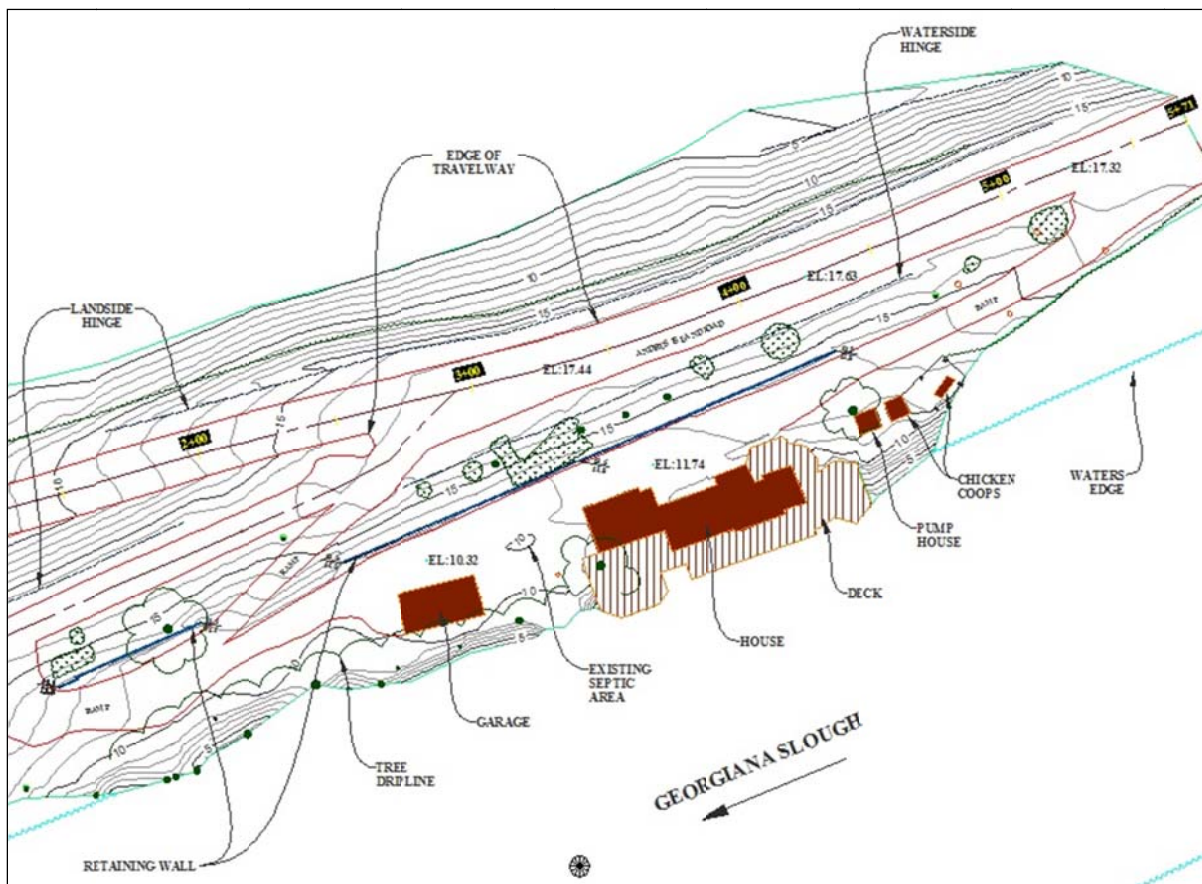


Figure 3. Blower Residence

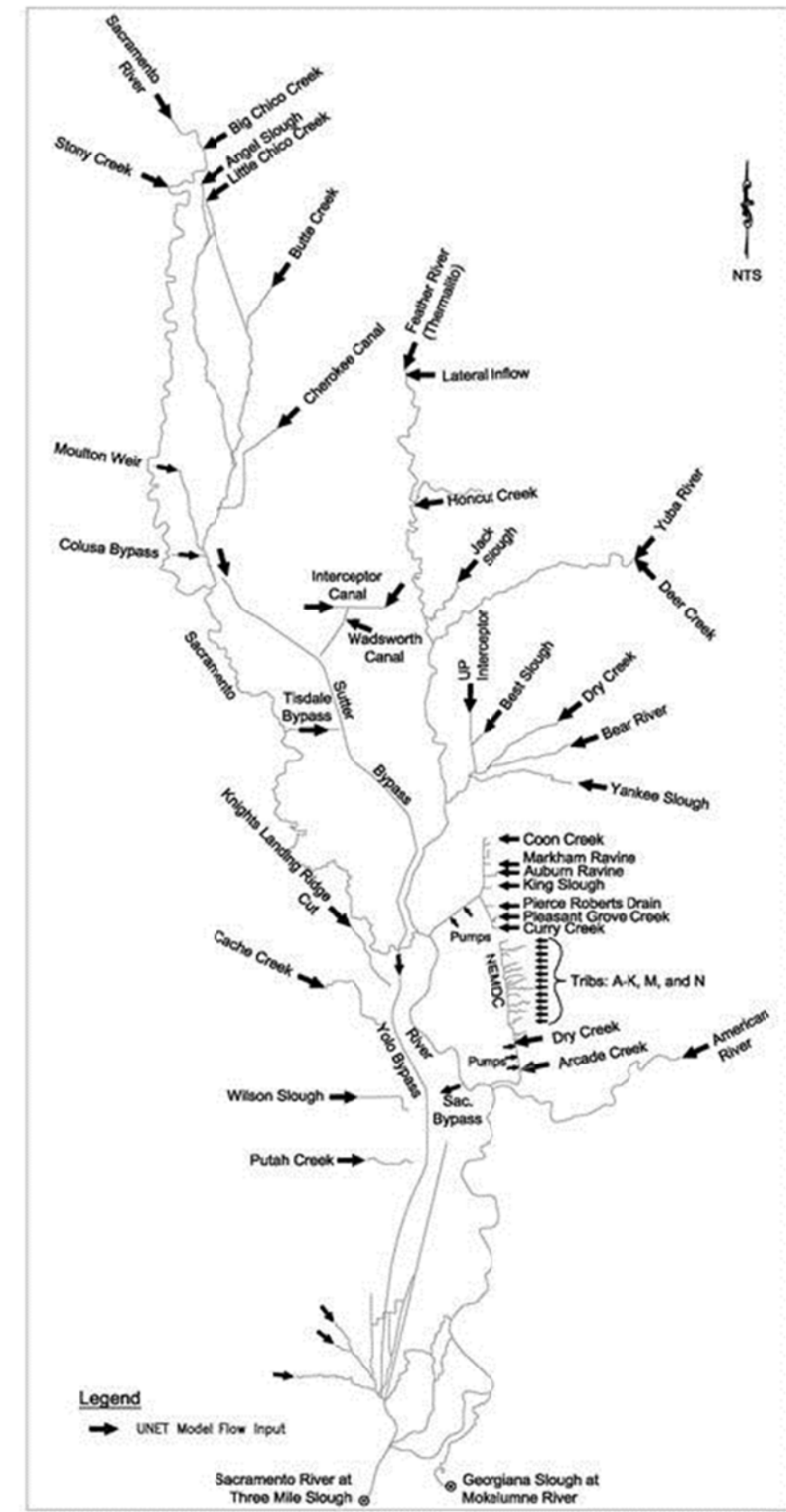


Figure 4. Hydraulic Model Extents

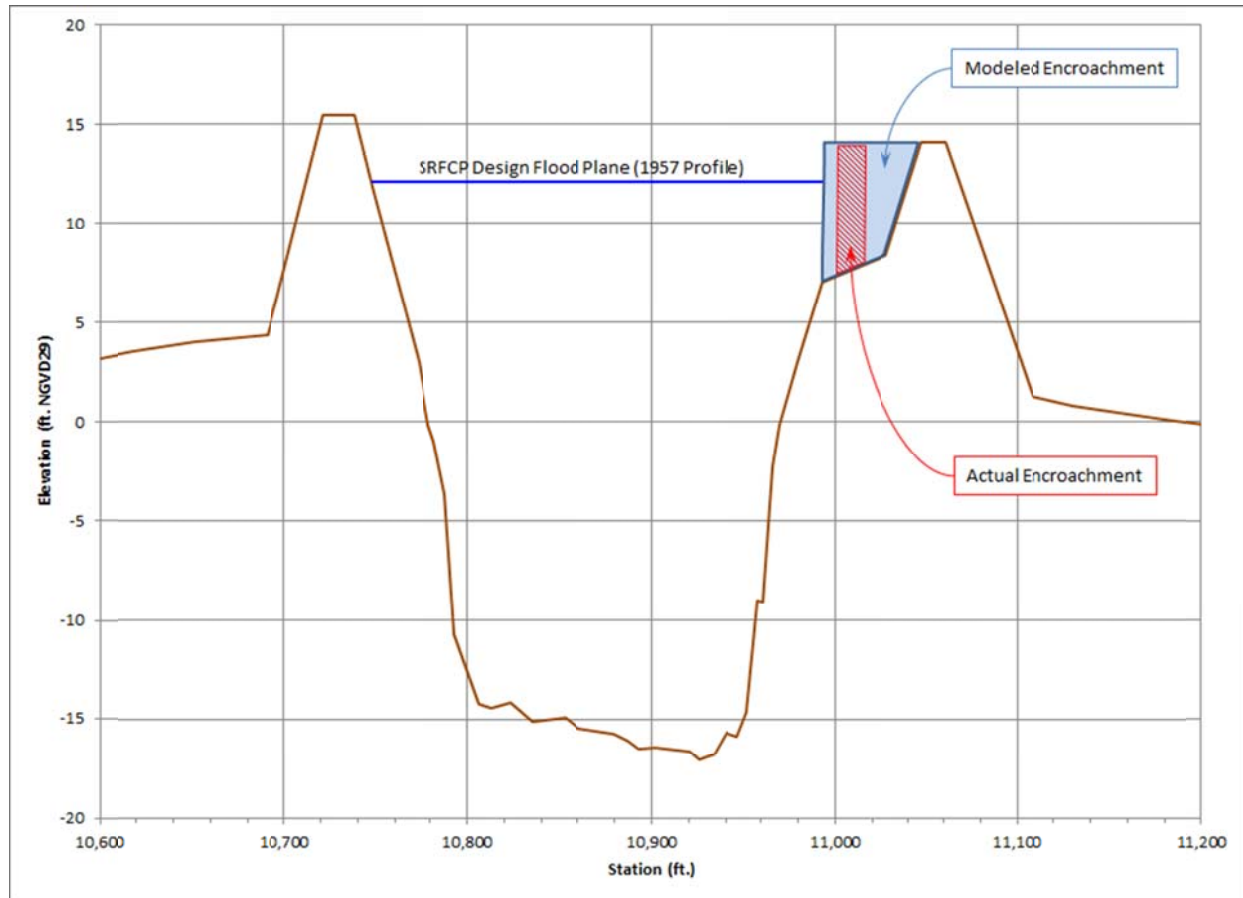
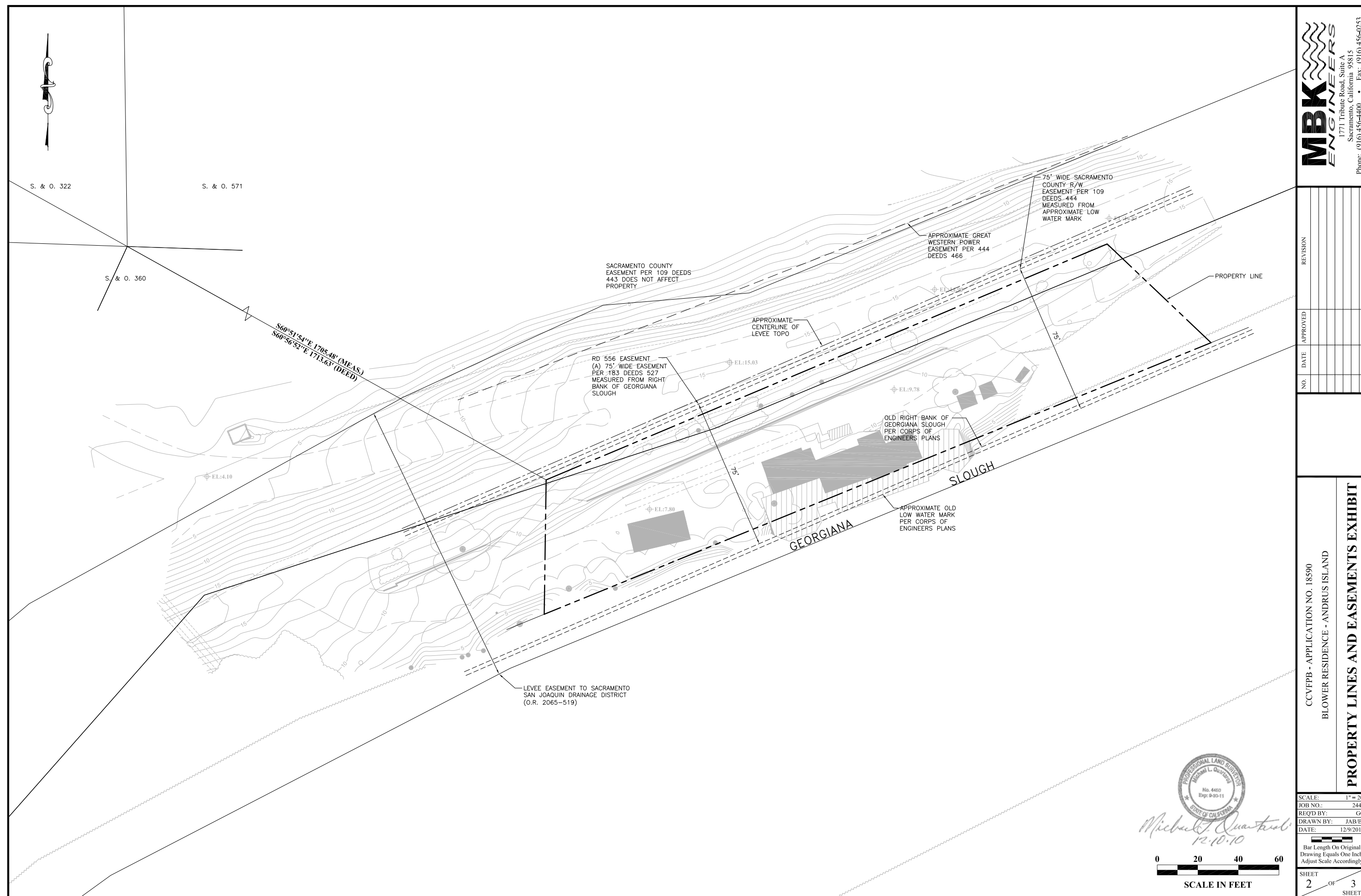
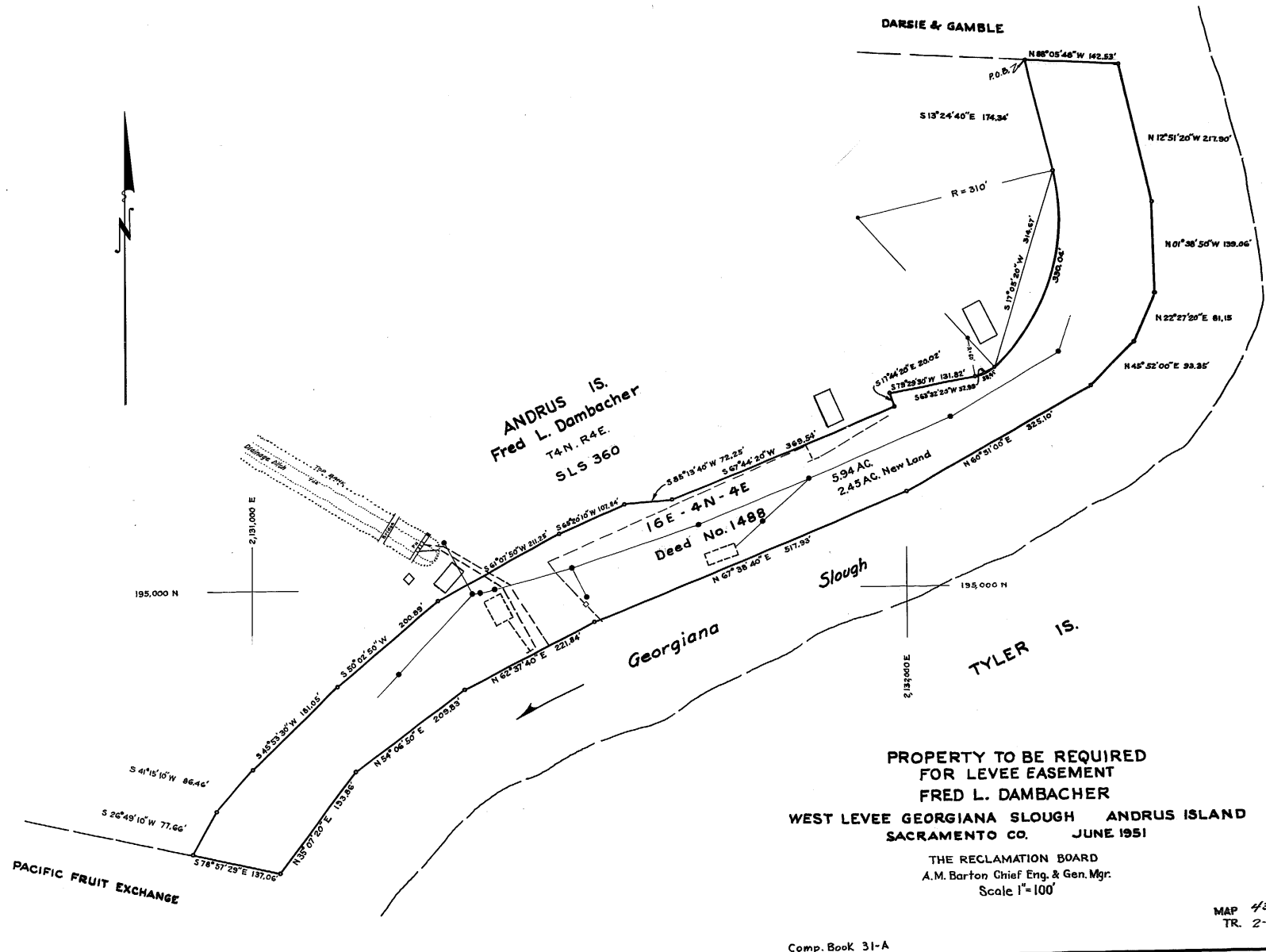


Figure 5. Cross-section 8.25





1488

L.B. Dec #1488

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THIS INDENTURE made this 23 day of April 1951,

1951, by and between F. L. DAMBACHER, also known as FRED L. DAMBACHER, and HILDRETH E. DAMBACHER, also known as HILDRETH DAMBACHER, his wife, hereinafter designated as grantors, and SACRAMENTO AND SAN JOAQUIN DRAINAGE DISTRICT, a public agency, hereinafter designated as grantee,

WITNESSETH:

FIRST: That the grantors for and in consideration of the sum of Nine Hundred Eighty Dollars (\$980.00), in hand paid, the receipt of which is hereby acknowledged, do hereby grant to said grantee, its successors and assigns, a perpetual right of way and easement to build, construct, reconstruct, repair and forever maintain the West levee of Georgiana Slough, a part of the Sacramento River Flood Control Plan of the California Debris Commission, including all embankments, ditches and appurtenant structures, incidental works to said levee and bank protection works adjacent thereto, over, or across the real property described as follows, to-wit:

All that certain parcel or tract of real property, situate, lying in and being a portion of projected Section 16, T.4N., R.4E., M.D.M., said parcel being also in Swamp Land Survey No. 360, located on Andrus Island, Sacramento County, California; said parcel being more particularly described as follows:



Beginning at the intersection of the landside toe of the proposed levee with the property line common to lands of grantor and lands, now or formerly, owned by William F. Darsie and L. J. Gamble; said point of beginning being further located South 17° 23' 06" East 7,438.05 feet from the northeast corner of Swamp Land Survey No. 324, Sacramento County Surveys, which said northeast corner bears North 85° 56' 10" West 25.14 feet from a 1'x2' concrete block monument set one foot above the surface of the ground, in the northerly line of that certain 77.35 acre tract conveyed by Rose Sarmento to Josephine Neves by deed dated June 17, 1922 and recorded June 19, 1922 in Book 604 of Deeds at page 180, Sacramento County Records; THENCE FROM SAID POINT OF BEGINNING, leaving said property line, along said landside toe, the following thirteen courses:

- (1) South 13° 24' 40" East 174.34 feet;
- (2) Curving to the right on the arc of a circular curve, having a radius of 310 feet, a distance of 330.04 feet to a point, which bears South 17° 05' 20" West 314.67 feet from the beginning of said curve;
- (3) Curving to the right on the arc of a circular curve, having a radius of 60 feet, a distance of 33.41 feet to a point, which bears South 63° 32' 20" West 32.99 feet from the beginning of said curve;

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(4) Leaving said curve tangentially South 79° 29' 30" West 131.82 feet;

(5) South 17° 44' 20" East 20.02 feet;

(6) South 67° 44' 20" West 369.54 feet;

(7) South 85° 13' 40" West 72.25 feet;

(8) South 65° 20' 10" West 107.84 feet;

(9) South 61° 07' 50" West 211.25 feet;

(10) South 50° 02' 50" West 200.89 feet;

(11) South 45° 53' 30" West 181.05 feet;

(12) South 41° 15' 10" West 86.46 feet; and

(13) South 26° 49' 10" West 77.66 feet more or less, to a point on the property line common to lands of grantor and lands, now or formerly, owned by Pacific Fruit Exchange, a corporation; thence leaving said proposed landside toe and along said property line South 78° 57' 29" East 137.06 feet more or less, to mean low low water of Georgiana Slough; thence leaving said property line, along said low water line, upstream, the following nine courses:

(1) North 35° 07' 20" East 193.86 feet;

(2) North 54° 06' 50" East 209.83 feet;

(3) North 62° 37' 40" East 221.84 feet;

(4) North 67° 38' 40" East 517.93 feet;

(5) North 60° 31' 00" East 325.10 feet;

(6) North 45° 52' 00" East 93.35 feet;

(7) North 22° 27' 20" East 81.15 feet;

(8) North 01° 38' 50" West 139.06 feet; and

(9) North 12° 51' 20" West 217.90 feet more or less, to a point on the aforesaid property line common to the lands of grantor and Darsie and Gamble; thence leaving said low water line along said property line North 88° 05' 48" West 142.53 feet more or less, to the point of beginning, containing 5.94 acres, more or less, of which 2.45 acres is new land taken.

The North Meridian used for this survey is identical with that adopted by the Department of the Army, Corps of Engineers, for this area.

SECOND: Grantors do hereby waive all claim or claims for any and all compensation for and on account of the location, establishment and construction of said levee, embankments and appurtenant structures upon the right of way area hereinabove described in accordance with the provisions hereof.

THIRD: Grantors do hereby acknowledge that all obligations of grantee under that certain agreement executed by grantors and grantee on April 18, 1950, have been performed by grantee.

IN WITNESS WHEREOF, grantors have hereunto set their hands and seals on the day and year first hereinabove written.

F. L. Dambacher

Walter E. Dambacher

FORM APPROVED

Tim O'Brien

DEPUTY ATTY. GENERAL

5.14.51

JUN 28 1951

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R E S O L U T I O N


AND ADOPTED BY THE RECLAMATION BOARD
 AT MEETING HELD FEBRUARY 19, 1941

IT IS RESOLVED AND ORDERED by The Reclamation Board of the State of California that A. M. Barton, as Chief Engineer and General Manager of said Board, is hereby authorized to consent to deeds or grants conveying to the Sacramento and San Joaquin Drainage District or The Reclamation Board of the State of California, real estate, or any interest therein, or easements thereon, for public purposes, and to evidence said consent by his written acceptance attached to such deeds or grants, together with a certified copy of this resolution in accordance with section 1158 of the Civil Code of the State of California.

STATE OF CALIFORNIA)
 County of Sacramento) SS.
 Office of The Reclamation Board)

I, GEO. H. HOLMES, Secretary of The Reclamation Board, do hereby certify that the above and foregoing is a true and exact copy of a resolution duly passed and adopted by said Board at its regular monthly meeting held February 19, 1941.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of The Reclamation Board, this 1st day of November, 1941.



 GEORGE H. HOLMES
 Secretary
 The Reclamation Board

STATE OF CALIFORNIA)
 COUNTY OF SACRAMENTO) SS.

This is to certify that I, the undersigned, duly appointed, qualified and acting Chief Engineer and General Manager of The Reclamation Board, do consent to and accept the attached deed or grant by virtue of the authority vested in me by the resolution of said board, a certified copy of which is above set forth.

DATED: May 23, 1945.

SEAL


 Chief Engineer and General Manager
 The Reclamation Board

31738
 JUN 28 1951

Recorded at request of FIDELITY TITLE INSURANCE COMPANY JUN 28 1951 10:19 A.M. Notice #3173

CENTRAL VALLEY FLOOD PROTECTION BOARD

3310 El Camino Ave., Rm. 151

SACRAMENTO, CA 95821

(916) 574-0609 FAX: (916) 574-0682

PERMITS: (916) 574-0685 FAX: (916) 574-0682



February 7, 2011

Ms. Meegan Nagy, Chief
Flood Protection & Navigation Section
Sacramento District
U.S. Army Corps of Engineers
1325 J Street
Sacramento, California 95814-2922

Subject: Encroachment Permit Application No. 18590- Septic System Installation Variance

Dear Ms. Nagy:

Board staff is requesting a variance for application No. 18590 to allow a septic leech field to be reinstalled within 10 feet of a waterside levee toe. The reason for the variance is that it is infeasible for the leech field to be installed in other locations. Board staff requests a 208.10 review letter from your office for this request.

This application is for an existing home that was originally authorized by the Board in 1975 (via Automatic Board Order 11160). The property owner has approached the Board wishing to make necessary repairs to the property, which includes remodeling the home and detached garage and constructing a new pump house and septic system. The current home is bounded by the Georgiana slough on the east and the project levee to the west. The proposed location of the septic distribution lines are parallel to the levee alignment and are approximately 10 feet from the existing retaining wall on the waterside. After further review of the application, we have determined that it is infeasible to install the septic distribution lines with a 10-foot setback from where the theoretical waterside levee slope meets original ground as this would place the installation of the septic distribution lines within the location of the existing home (see Figure 2). The distance between the existing retaining wall and the home is approximately 16 feet, which provides sufficient space for vehicle to access in the event of a flood emergency or during routine maintenance and inspections.

The property was in dilapidated condition before the owner began the repairs described in this permit application. Specifically, the existing septic system is undersized and code deficient, therefore; it is in the State's interest to have the system replaced. The proposed work reduces the threat a deficient septic system presents to the levee and the water quality of Georgiana Slough. Therefore staff recommends a variance be granted to allow the installation of the replacement septic system in the proposed location.

Ms. Meegan Nagy
February 7, 2011
Page 2 of 2

Should you have any questions, please contact Staff engineer, Ms. Angeles Caliso at (916) 574-2386 or via e-mail at acaliso@water.ca.gov.

Sincerely,



Curt Taras, Chief
Floodway Encroachment and Enforcement Branch

cc: (Please see attached list)

Attachment:

Figure 1: Site Photos
Figure 2: Site Cross section

cc: Mr. Ryan Larson
US Army Corps of Engineers
Flood Protection & Navigation Section
Sacramento District
1325 J Street
Sacramento CA 95814-2922

Ms. Donna Blower
C/O Tony Cordero
15433 Andrus Island
Isleton, California 95641



Figure 1- Site Photos (Source: Applicant's submittal package 02.2010)

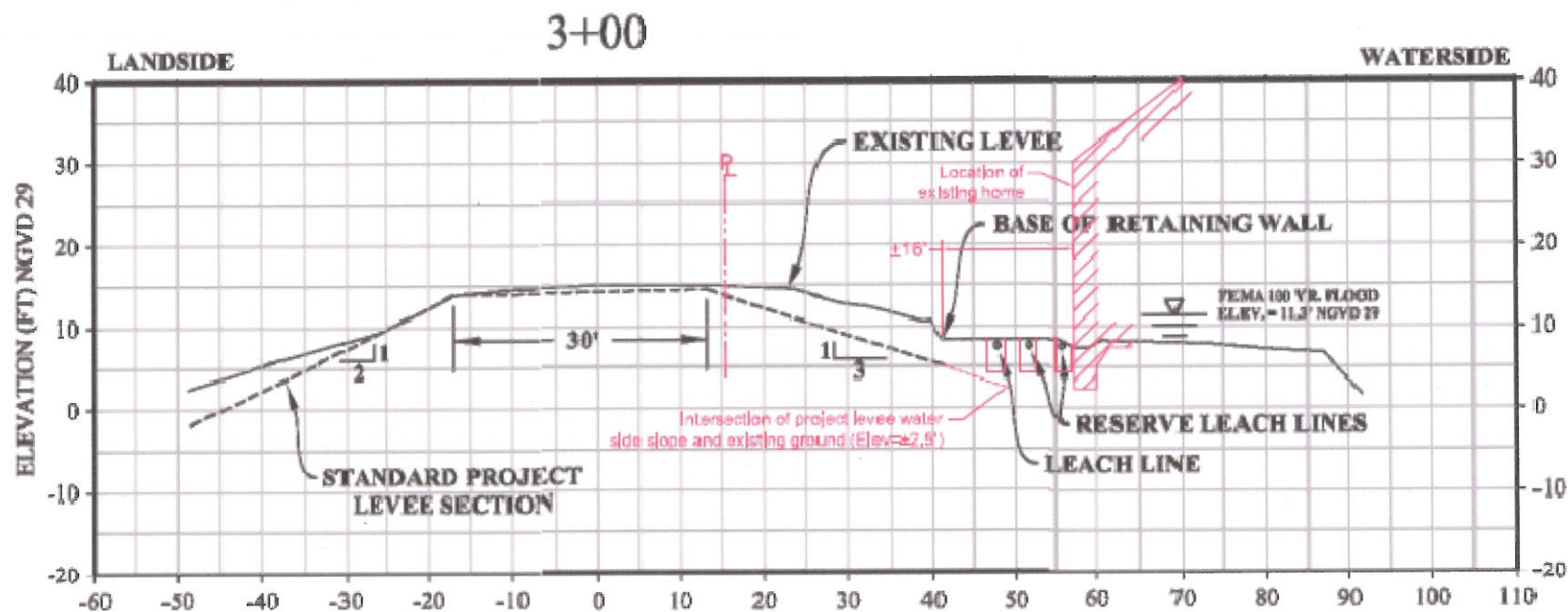


Figure 2- Site Cross Section added labels by CVFPB (source: MBK Engineers Cross Sections, Sheet 3 of 3, dated 12/9/2010)