

**Meeting of the Central Valley Flood Protection Board  
June 24, 2011**

**Staff Report – Encroachment Permit**

**William and Sharon Giesbrecht  
Storage Building, Glenn County**

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**1.0 – ITEM**

Consider approval of Permit No. 18651 to construct a 50 foot by 75 foot pre-engineered steel building for agriculture equipment in the Butte Basin (Glenn County). (See Attachment B)

**2.0 – APPLICANT**

William and Sharon Giesbrecht

**3.0 – LOCATION**

The project is located within the Area E of Butte Basin Floodplain along the Sacramento River, Glenn County. (See Attachment A)

**4.0 – DESCRIPTION**

Applicant proposes to place a 50 by- 75-feet pre-engineered steel storage building to store agricultural equipment on the existing farm and construct a 2,600 sq. ft. concrete apron on grade adjacent to the proposed building site within Area E of the Butte Basin.

**5.0 – PROJECT ANALYSIS**

Dwellings and building are allowed and permitted within the Area E of Butte Basin except where the activity would not potentially affect a project levee or other project feature. The proposed building will be placed at least 2 feet above the flood water surface elevation. The adjacent 2,600 sq. ft. paved concrete apron will be on the existing grade.

**5.1 – Hydraulic Analysis**

The cross sectional width of the Butte Basin (per Figure 8.12 in Title 23) from the left (east) bank of the Sacramento River levee to just west of Goodspeed-Watt Road at the

latitude of the proposed project site is approximately 7.4 miles. The maximum east-west blockage from the proposed structure is 50-feet wide. The calculated theoretical hydraulic blockage from the proposed storage shed would be about 0.13%  $[(20\text{-ft}/39,072\text{-ft}) \times 100 = 0.13\%]$ . Per U.S. Army Corps of Engineers guidelines no hydraulic analysis is required for the proposed project.

## **5.2 – Geotechnical Analysis**

No Geotechnical analysis is required for this proposed project because the project is not located near a levee or other flood control works.

## **5.3 – Additional Staff Analysis**

Additional requirements will be added on the permit as Special Conditions.

## **6.0 – AGENCY COMMENTS AND ENDORSEMENTS**

The comments and endorsements associated with this project, from all pertinent agencies are shown below:

- Levee District No.3, Glenn County has endorsed the project/application as it is proposed.
- The U.S. Army Corps of Engineers 208.10 comment letter has not yet been received for this application. Upon receipt of a favorable letter and review by Board staff the letter will be incorporated into the permit as Exhibit B.

## **7.0 – CEQA ANALYSIS**

The Board, acting as the CEQA lead agency, has determined that the project is categorically exempt from CEQA under a Class 3 Categorical Exemption (CEQA Guidelines Section 15303) covering new construction of small structures.

**8.0 – SECTION 8610.5 CONSIDERATIONS**

1. Evidence that the Board admits into its record from any party, State or local public agency, or nongovernmental organization with expertise in flood or flood plain management:

The Board will make its decision based on the evidence in the permit application and attachments, this staff report, and any other evidence presented by any individual or group.

2. The best available science that related to the scientific issues presented by the executive officer, legal counsel, the Department or other parties that raise credible scientific issues.

The accepted industry standards for the work proposed under this permit as regulated by Title 23 have been applied to the review of this permit.

3. Effects of the decision on the entire State Plan of Flood Control:

Negligible if any.

4. Effects of reasonable projected future events, including, but not limited to, changes in hydrology, climate, and development within the applicable watershed:

None.

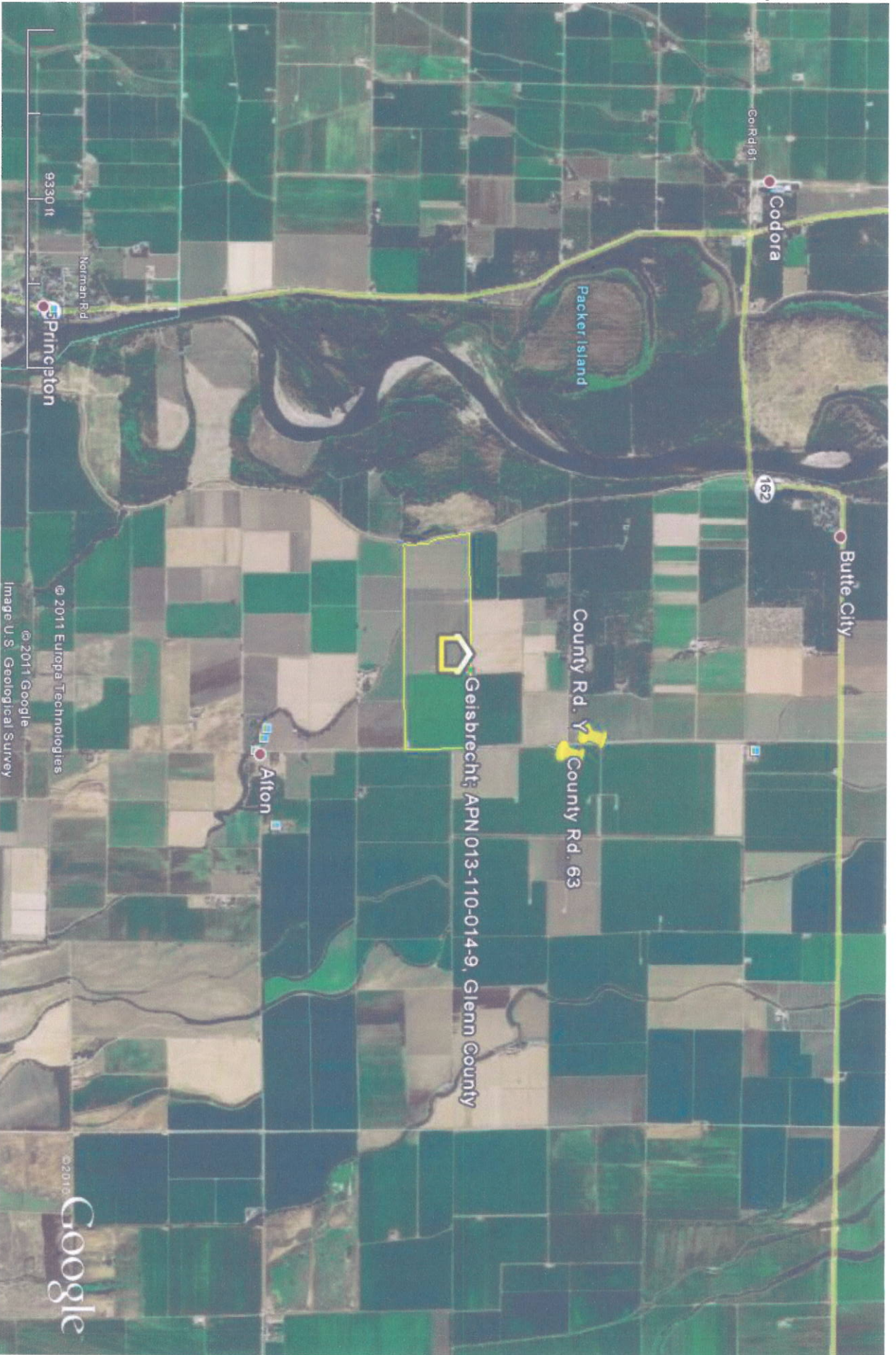
**9.0 – STAFF RECOMMENDATION**

Staff recommends that the Board determine the project to be exempt from CEQA, approve Permit No. 18651 conditioned upon receipt of favorable U.S. Army Corps of Engineers comment letter, and direct the Executive Officer to take necessary actions to execute the permit and to file a Notice of Exemption with the State Clearinghouse.

**10.0 – LIST OF ATTACHMENTS**

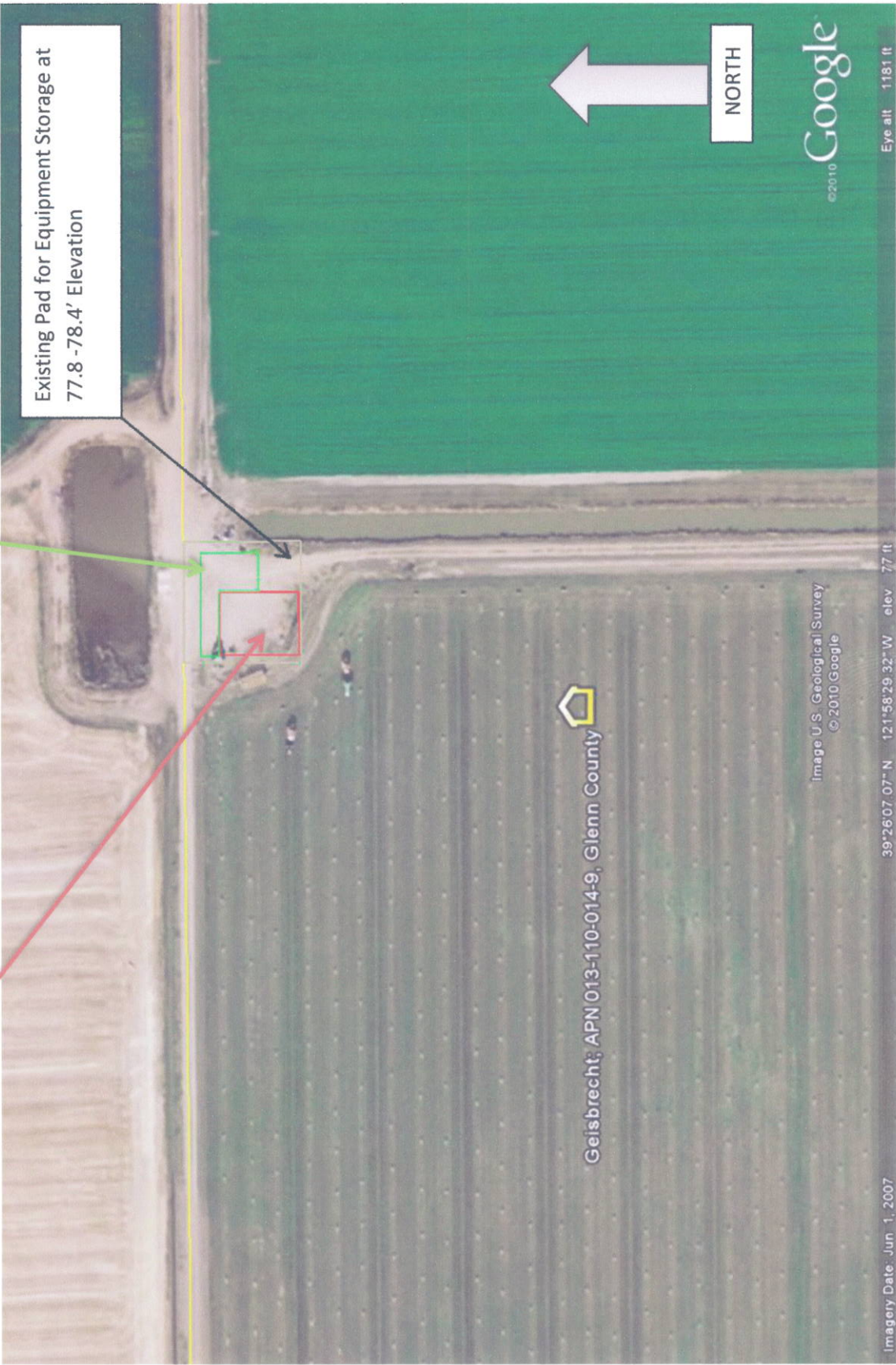
- A. Location Map
- B. Draft Permit No. 18651

Design Review: Sam Brandon



Proposed 2,600 sq. ft. Concrete Apron On Grade.

Proposed 50' x 75' Steel Building for Storage of Agriculture Equipment



Existing Pad for Equipment Storage at 77.8 -78.4' Elevation

Looking West Across Existing Pad At Proposed Building Location.



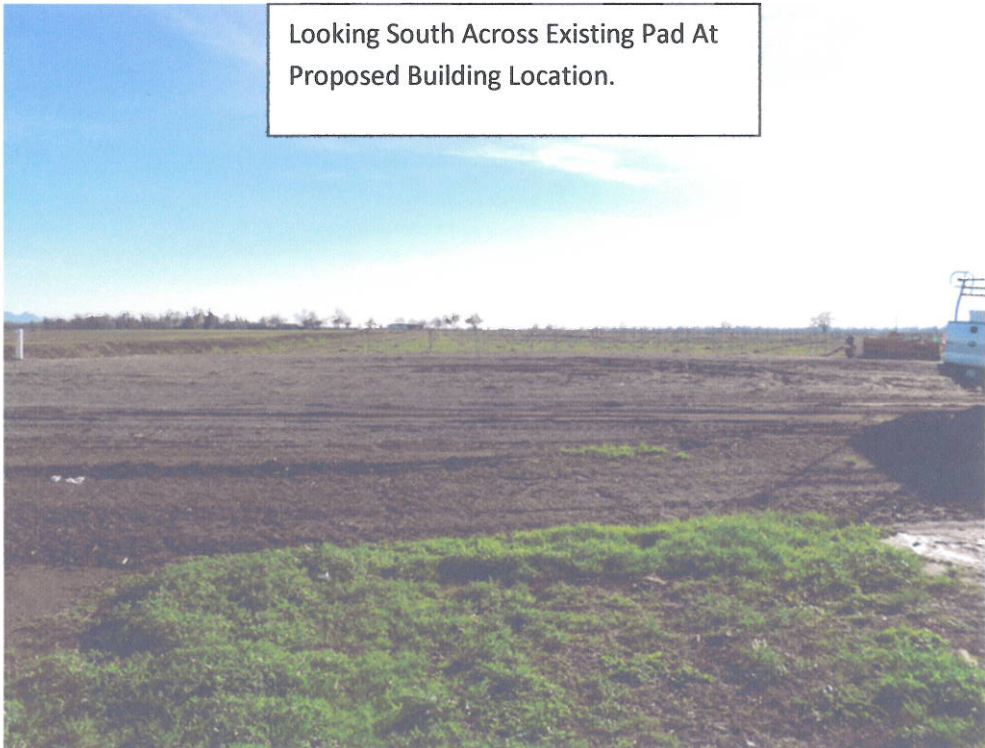
Looking East Across Existing Pad At Proposed Building Location.

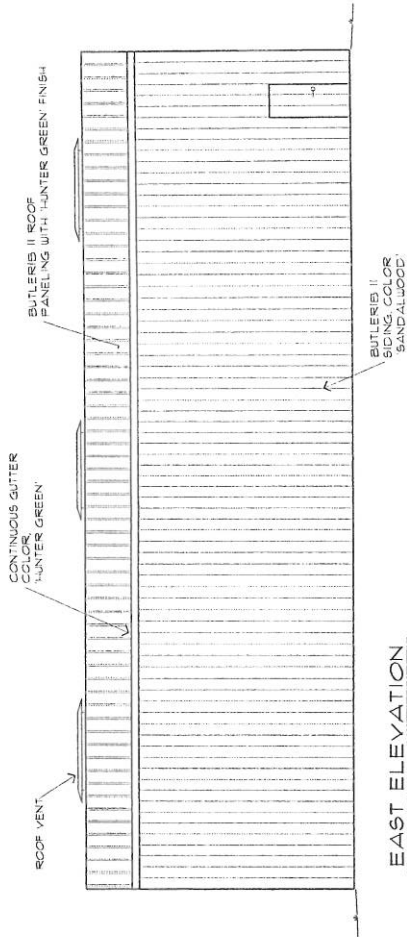


Looking North Across Existing Pad At Proposed Building Location.

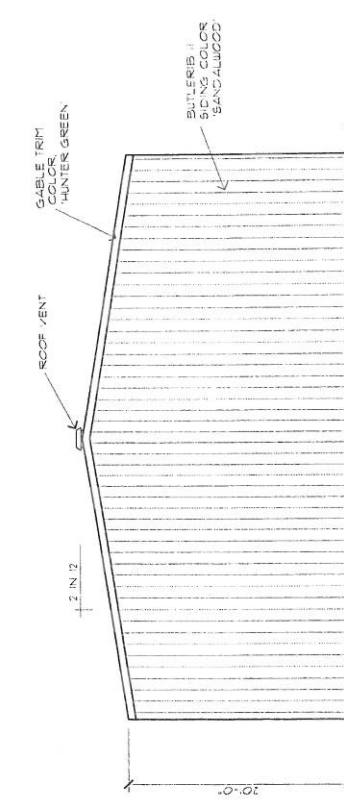


Looking South Across Existing Pad At Proposed Building Location.

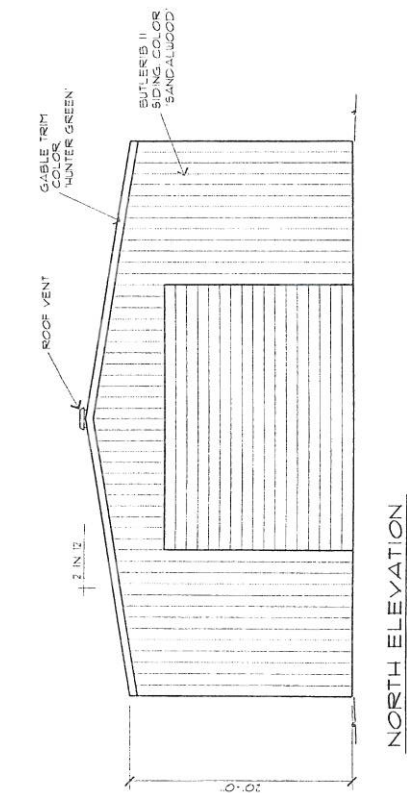




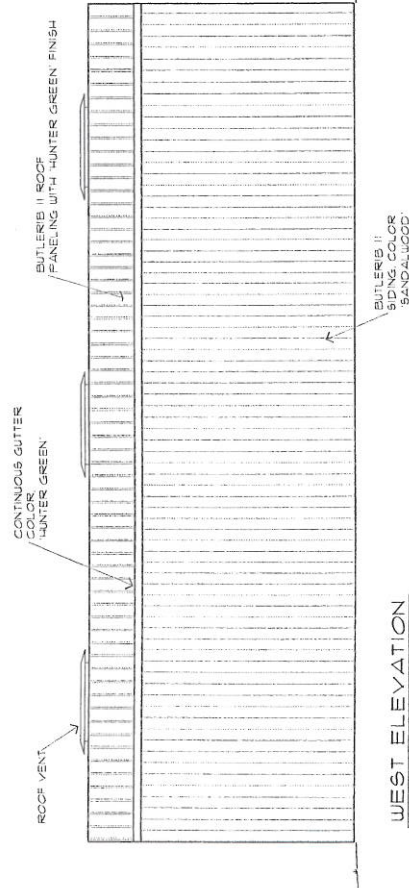
EAST ELEVATION



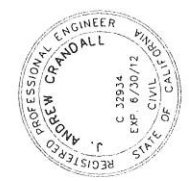
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



|  |  |                                      |
|--|--|--------------------------------------|
|  | TITLE: AG. STORAGE BUILDING FOR BILL GIESBRECHT<br>APN 019-110-014-3, GLENN CO, CA   | SCALE: 3/32"=1'-0"<br>SHEET: A2 OF 6 |
|  | ELEVATIONS<br>CRANDALL ENGINEERING<br>4858 PONDEROSA WAY<br>P.O. BOX 124<br>CHICO, CA 95926<br>PHONE: 530.946-8844 FAX: 209-966-4744 | Revisions:                           |



Revisions:



**NIVBIS**  
INCORPORATED  
NORTH VALLEY BUILDING SYSTEMS  
130 SEVILLE CT  
CHICO, CA 95928

AG STORAGE BUILDING FOR BILL GIEBRECHT  
APN 013-110-014-9  
GLENN CO. ROAD 48  
GLENN, CA

**SITE PLAN**

CRANDALL ENGINEERING  
488 PONDROSA WAY  
P.O. BOX 124  
GLENN, CA 95928

TITLE: AG STORAGE BUILDING FOR BILL GIEBRECHT

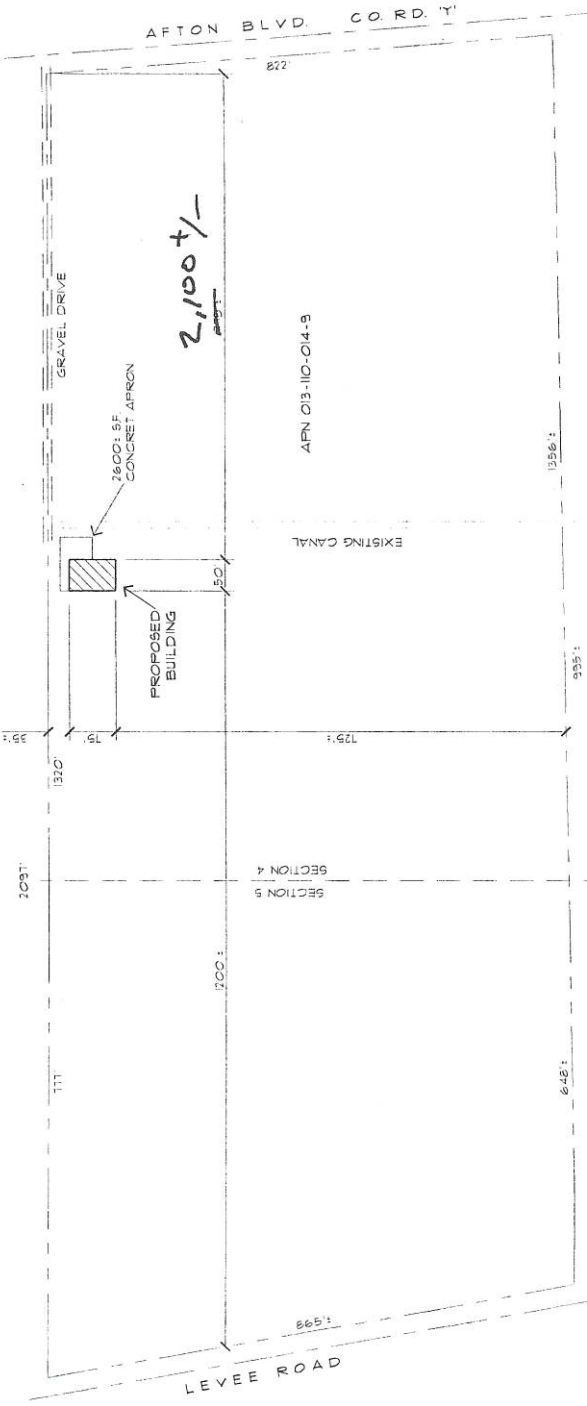
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FILE: CD13/0018/  
048-0105

SHEET: C1

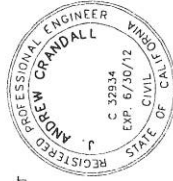
OF 6



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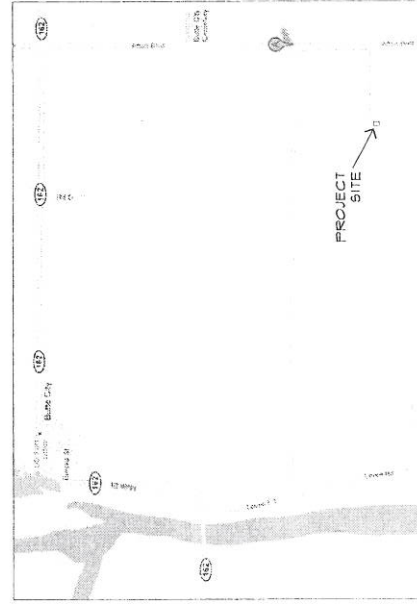
SITE PLAN: 1" = 200'

OWNER:  
WILLIAM R. & SHARON J. GIEBRECHT  
8051 CO. ROAD 48  
GLENN, CA 95943

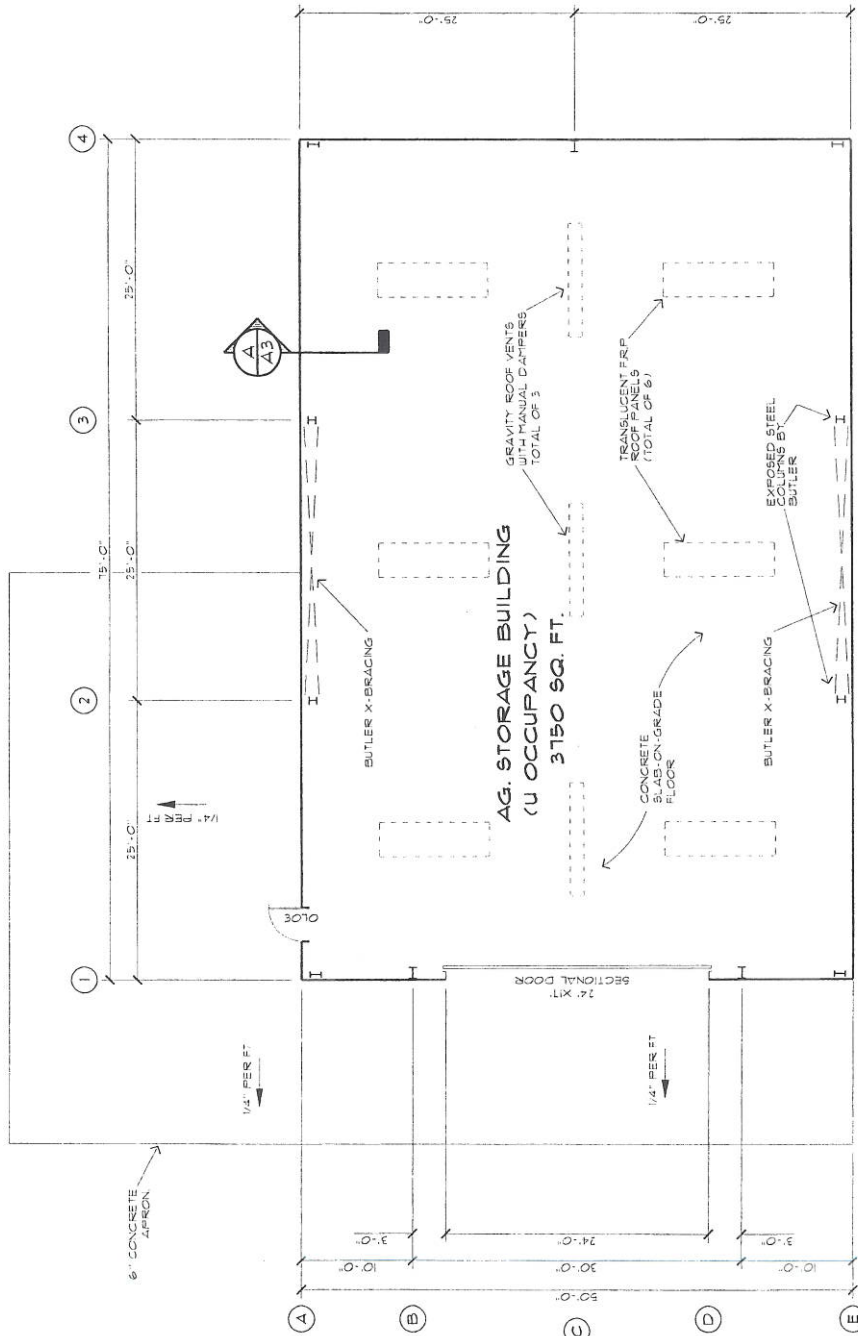


INDEX OF DRAWINGS

- C1 SITE PLAN
- A1 FLOOR PLAN
- A2 ELEVATIONS
- A3 SECTIONS & DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 FOUNDATION DETAILS




- GENERAL NOTES**
1. ENGINEERING DESIGN LOADS  
ROOF LIVE LOAD: MINIMUMS PER CBC TABLE 16.07.41  
WIND LOADING BASED ON 85 MPH EXPOSURE 'C'  
SEISMIC DESIGN:  
SITE CATEGORY: D  
SEIS. WIND IMPORTANCE FACTOR: 1.0  
S1 = 0.25  
S2 = 0.50  
S3 = 0.75  
S4 = 1.0  
S5 = 1.25  
S6 = 1.5  
S7 = 2.0  
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S9 = 3.0  
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S100 = 48.5
  2. CONSTRUCTION SHALL CONFORM TO THESE PLANS AND ALL APPLICABLE CODES AND REGULATIONS INCLUDING THE FOLLOWING:  
1. 2001 CALIFORNIA STATE EARTHQUAKE SAFETY ACT, TITLE 17, PART 1  
2. 2001 CALIFORNIA STATE ELECTRICAL CODE TITLE 24, PART 1  
3. 2001 CALIFORNIA STATE MECHANICAL CODE TITLE 24, PART 4  
4. 2001 CALIFORNIA STATE PLUMBING CODE TITLE 24, PART 5  
5. 2001 CALIFORNIA STATE ENERGY CODE TITLE 24, PART 6  
6. 2001 CALIFORNIA STATE FIRE CODE, TITLE 24, PART 9  
7. 2001 CALIFORNIA STATE FIRE CODE, TITLE 24, PART 9  
8. STEEL BUILDING SHALL BE DESIGNED BY OTHERS TO CBC AND MECHANICAL REQUIREMENTS. MANUFACTURER SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS AS REQUIRED BY LOCAL BUILDING DEPARTMENT.  
9. EACH SUBCONTRACTOR SHALL EXAMINE THE PLANS CAREFULLY WITH RESPECT TO ADJOINING WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO THE BEGINNING OF WORK.  
10. THE SEAL AND SIGNATURE FOR THESE PLANS APPLIES ONLY TO THE DESIGN ON THE BUILDING COMPONENTS AND DETAILS SHOWN AND SPECIFICALLY DETAILED ON THESE PLANS AND IS NOT INTENDED AS THE SEAL OF THE ENGINEER OF RECORD FOR THE ENTIRE PROJECT.



**BUILDING DATA PER 2001 CBC**  
 OCCUPANCY GROUP: U (AGRICULTURAL STORAGE)  
 TYPE OF CONSTRUCTION: IIB (NO SPRINKLERS)  
 LOCATION ON PROPERTY:  
 NORTH: 35' TO PL  
 EAST: 115' TO ROW  
 SOUTH: 125' TO PL  
 WEST: 100' TO PL  
 FLOOR AREA:  
 PROPOSED AREA: 3,750 SQ. FT.  
 ALLOWABLE AREA: 19,000 SQ. FT. BASE AREA  
 HEIGHT:  
 PROPOSED HEIGHT: 27'  
 ALLOWABLE HEIGHT: 55'  
 NUMBER OF STORIES:  
 PROPOSED: SINGLE STORY  
 ALLOWABLE: SINGLE STORY  
 OCCUPANT LOAD: 8 @ 1 PER 500 SF.  
 EXIT REQUIREMENTS:  
 REQUIRED: 1 FOR LESS THAN 50 OCCUPANTS  
 PROVIDED: 1 EXIT  
 300' MAX TRAVEL DISTANCE  
 15' MAX TRAVEL DISTANCE



**FLOOR PLAN: 3/32" = 1'-0"**

|   |   |  |   |                     |
|---|---|--|---|---------------------|
|  <p>430 SEVILLE CT.<br/>         CHICO, CA 95926<br/>         PHONE (930) 343-7288</p> | TITLE: AG. STORAGE BUILDING FOR BILL GIESBRECHT<br>APR 05-10-04-9, GLENN CO., CA<br><b>FLOOR PLAN</b><br>CRANDALL ENGINEERING<br>4968 PONDEROSA WAY<br>P.O. BOX 124<br>HANFORD, CA 93245<br>PHONE: 209-968-4844 FAX: 209-968-4743 |  | SCALE: 3/32" = 1'-0"<br>FILE: CD15/0048/<br>048-A1.DWG<br>JOB: ICO-16 | SHEET<br>AI<br>OF 6 |
|   | Revisions:  |  |   |                     |

**DRAFT**

STATE OF CALIFORNIA  
THE RESOURCES AGENCY  
**THE CENTRAL VALLEY FLOOD PROTECTION BOARD**

**PERMIT NO. 18651 BD**

**This Permit is issued to:**

William & Sharon Giesbrecht  
8057 County Road 48  
Glenn, California 95943

Construct a 50-ft. by 75-ft. pre-engineered steel building for agricultural equipment. The project is located about 2-miles southeast of Butte City, south of Road 63, west of Afton Blvd., north of Road 67 and east of Levee Road in the Butte Basin (N 39 26' 09.6"; W -121 58' 28.4"). (Section 4, T18N, R1W, MDB&M, Levee District 1 Glenn, Butte Basin, Glenn County).

**NOTE:** Special Conditions have been incorporated herein which may place limitations on and/or require modification of your proposed project as described above.

**(SEAL)**

Dated: \_\_\_\_\_

\_\_\_\_\_  
Executive Officer

**GENERAL CONDITIONS:**

**ONE:** This permit is issued under the provisions of Sections 8700 – 8723 of the Water Code.

**TWO:** Only work described in the subject application is authorized hereby.

**THREE:** This permit does not grant a right to use or construct works on land owned by the Sacramento and San Joaquin Drainage District or on any other land.

**FOUR:** The approved work shall be accomplished under the direction and supervision of the State Department of Water Resources, and the permittee shall conform to all requirements of the Department and The Central Valley Flood Protection Board.

**FIVE:** Unless the work herein contemplated shall have been commenced within one year after issuance of this permit, the Board reserves the right to change any conditions in this permit as may be consistent with current flood control standards and policies of The Central Valley Flood Protection Board.

**SIX:** This permit shall remain in effect until revoked. In the event any conditions in this permit are not complied with, it may be revoked on 15

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days' notice.

**SEVEN:** It is understood and agreed to by the permittee that the start of any work under this permit shall constitute an acceptance of the conditions in this permit and an agreement to perform work in accordance therewith.

**EIGHT:** This permit does not establish any precedent with respect to any other application received by The Central Valley Flood Protection Board.

**NINE:** The permittee shall, when required by law, secure the written order or consent from all other public agencies having jurisdiction.

**TEN:** The permittee is responsible for all personal liability and property damage which may arise out of failure on the permittee's part to perform the obligations under this permit. If any claim of liability is made against the State of California, or any departments thereof, the United States of America, a local district or other maintaining agencies and the officers, agents or employees thereof, the permittee shall defend and shall hold each of them harmless from each claim.

**ELEVEN:** The permittee shall exercise reasonable care to operate and maintain any work authorized herein to preclude injury to or damage to any works necessary to any plan of flood control adopted by the Board or the Legislature, or interfere with the successful execution, functioning or operation of any plan of flood control adopted by the Board or the Legislature.

**TWELVE:** Should any of the work not conform to the conditions of this permit, the permittee, upon order of The Central Valley Flood Protection Board, shall in the manner prescribed by the Board be responsible for the cost and expense to remove, alter, relocate, or reconstruct all or any part of the work herein approved.

#### **SPECIAL CONDITIONS FOR PERMIT NO. 18651 BD**

**THIRTEEN:** If the construction project extends onto land owned in fee and/or easement by the Sacramento and San Joaquin Drainage District acting by and through the Central Valley Flood Protection Board (Board), the permittee should secure an easement, license, or temporary entry permit from the Board prior to commencement of work. Contact Angelica Aguilar at (916) 653-5782.

**FOURTEEN:** All work approved by this permit shall be in accordance with the submitted drawings and specifications except as modified by special permit conditions herein. No further work, other than that approved by this permit, shall be done in the area without prior approval of the Central Valley Flood Protection Board.

**FIFTEEN:** The permittee is responsible for all liability associated with construction, operation, and maintenance of the permitted facilities and shall defend, indemnify, and hold the Central Valley Flood Protection Board and the State of California; including its agencies, departments, boards, commissions, and their respective officers, agents, employees, successors and assigns (collectively, the "State"), safe and harmless, of and from all claims and damages arising from the project undertaken pursuant to this permit, all to the extent allowed by law. The State expressly reserves the right to supplement or take over its defense, in its sole discretion

**SIXTEEN:** The permittee shall maintain the permitted encroachment(s) and the project works within the utilized area in the manner required and as requested by the authorized representative of the Department of Water Resources or any other agency responsible for maintenance.

**SEVENTEEN:** The permittee shall arrange for an inspector from the Department of Water Resources to be at the site prior to any excavation and during all backfill operations. For availability and scheduling of an inspector, contact the Department of Water Resources at telephone number (916) 574-0609 at least 10 working days prior to the start of work.

**EIGHTEEN:** The permittee may be required, at permittee's cost and expense, to remove, alter,

relocate, or reconstruct all or any part of the permitted encroachment(s) if removal, alteration, relocation, or reconstruction is necessary as part of or in conjunction with any present or future flood control plan or project or if damaged by any cause. If the permittee does not comply, the Central Valley Flood Protection Board may remove the encroachment(s) at the permittee's expense.

NINETEEN: If the project, or any portion thereof, is to be abandoned in the future, the permittee or successor shall abandon the project under direction of the Central Valley Flood Protection Board and Department of Water Resources, at the permittee's or successor's cost and expense.

TWENTY: The letter from the Department of the Army dated XX, 2010 attached to this permit as Exhibit A is in reference to this project.

TWENTY-ONE: The permittee shall defend, indemnify, and hold the Central Valley Flood Protection Board and the State of California, including its agencies, departments, boards, commissions, and their respective officers, agents, employees, successors and assigns (collectively, the "State"), safe and harmless, of and from all claims and damages related to the Central Valley Flood Protection Board's approval of this permit, including but not limited to claims filed pursuant to the California Environmental Quality Act. The State expressly reserves the right to supplement or take over its defense, in its sole discretion.

TWENTY-TWO: The permittee acknowledges that the proposed structure is located within the Butte Basin and is subject to periodic flooding.

TWENTY-THREE: No construction work of any kind shall be done during the flood season from November 1 to April 15 without prior approval of the Central Valley Flood Protection Board.

TWENTY-FOUR: Construction materials and/or equipment shall not be stored within Butte Basin, an adopted plan of flood control during the flood season from November 1 to April 15.

TWENTY-FIVE: Cleared trees and brush cleared shall be completely burned or removed from the floodway and downed trees or brush shall not remain in the floodway during the flood season between November 1st to April 15.

TWENTY-SIX: The finished floor elevation shall be at least 2 feet above the flood plane elevation of 78.6 feet, NGV Datum. Permittee shall provide an elevation certificate indicating compliance with the above elevation requirement prior to completion of the project.

TWENTY-SEVEN: All debris generated by this project shall be disposed of outside the Butte Basin adopted flood control.